

# Mission Bay Preserve Design Manual



Polson, Montana  
January 2024  
Mission Bay Preserve  
Homeowners' Association (HOA)

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# I. OVERVIEW

## A Distinctive Community

The Preserve is a neighborhood unlike most others. It enjoys a spectacular natural setting, with views to the Mission Mountains and the islands at the south end of Flathead Lake. A large part of the neighborhood is permanently set aside as open space, crossed by walking paths. The residents share this place with abundant wildlife, including deer, foxes, every manner of birds, and the occasional moose and bear. Homeowners in the Preserve live in close harmony with nature, attuned to the ideal Montana way of life.

The Preserve is distinctive in another, important way. Unlike most other neighborhoods with a hodge-podge of unrelated architectural styles, the homes in the Preserve share a common architectural language. Each home has its own unique identity but shares enough visual design characteristics with all of the other homes to create a cohesive and harmonious feeling to the entire neighborhood.

The shared architectural style was carefully chosen by the founders of the Preserve. Broadly called the **Northwest Traditional Style**, this encompasses several styles historically used in Montana's mountain regions. These styles became Montana traditions because they were well adapted to the rugged natural setting, and they supported the casual Montana lifestyle. They have become the essence of what one expects a Montana home to look like.

And when all of the homes are designed in this common style, they feel like they belong to a community sitting harmoniously in the land and collectively expressing this casual Montana lifestyle. Homeowners in this neighborhood feel a strong sense of community, and property values are protected, in no small part because of this shared traditional Montana architectural style.

## The Design Manual

To maintain this distinctive and very desirable visual character, the Mission Bay Preserve Homeowners Association created this Design Manual to guide all architectural and landscape design. This applies both to new construction and to later modifications to existing homes and landscapes.

The Design Manual establishes the design standards and expectations to which every design must comply. It also tries to explain the reasoning behind these standards, so homeowners, designers and builders have a better idea of why the standard is important both for the individual home and for the entire community.

The most current Mission Bay Preserve Design Manual is the governing document for all building criteria in the Preserve. Any other documents including Lot Specific Criteria Sheets originally drafted by the developer are no longer relevant and will not be considered in the design review process.

Throughout this manual, you will also find examples and descriptions of various architectural styles that are appropriate or inappropriate applications for Mission Bay Preserve. A picture is worth a thousand words; looking carefully at these examples shows you the overall character expected. If your proposed design does not look something like one of these examples, something is not yet right.

In the event of any inconsistency between this Manual and the MBP CC&R's, the CC&Rs shall control.

## **The Approval Process**

The design of a home is a complex process, having to address and accommodate many different requirements. Each site is different, each homeowner's needs and preferences are different; so, each home varies in its application of the design standards.

This means that the approval of a design cannot be done in a cookie cutter fashion by simply checking off a list of requirements. A design proposal needs to be evaluated in terms of what it wants to accomplish while at the same time meeting the overall standards in the Mission Bay Preserve.

The Mission Bay Preserve CC&R's establish a Design Review Committee, (DRC), tasked to ensure compliance with the Mission Bay Preserve Design Manual. This Committee consists of volunteer Preserve homeowners, who may or may not be experts in design or construction, but who understand the spirit and intention of the Design Manual. They will also be your neighbors when your home is completed, and so they want to work with you to help you achieve your dream home while also conforming to the community standards.

To this end, a process has been established to review home building designs in the Preserve. This process is described in detail in Section II.

The design review process, along with the Covenants, Conditions and Restrictions (CC&R's) are intended to preserve and maintain the inherent qualities of the property. They also advocate for the protection of property values within the Mission Bay Preserve Community.

The overarching idea of the review process is to work as efficiently as possible towards a building suitable for the homeowners while meeting the design standards of the community. We encourage you to contact the Mission Bay Preserve Design Review Committee at MBPDRC@missionbayhoa.com with questions regarding the design of your new home.

## **Organization & Content**

The Mission Bay Preserve Design Manual is organized into five sections:

### **I. Overview**

This section explains the vision of the Community and the intended use of this manual.

### **II. Design Review and Approval Process**

Describes the design review and approval process, including the specific requirements for drawings and other materials

### **III. Architectural Design**

Describes the specific requirements for the architectural design, including the required architectural style

#### **IV. Landscape Design**

Describes the specific requirements of the landscape design.

#### **V. Forms and Checklists.**

Application for Review New Construction

Application for Review Post Primary Construction

Schematic Design Submission Completeness Checklist

Schematic Design Review Checklist

Working Drawings Submission Completeness Checklist

Working Drawings Review Checklist

Notice of Completion

MBPHOA Board Appeal Form

Building Setbacks and Green Space restrictions on lots 202-212

## II. DESIGN REVIEW AND APPROVAL PROCESS

### Overview

#### Governing Jurisdictions

Before any construction can begin, a written and signed Notice to Proceed from the MBPDRC must be obtained. A Building Permit must also be obtained from the Polson Building Department. The MBPDRC Notice to Proceed promotes compliance with the Declaration of Covenants, Conditions and Restrictions (CC&R's) and controls the harmony of external design with surrounding structures and topography. Under no circumstances will a homeowner begin construction without the final approval of the MBPDRC and the Polson Building Department.

It is in your best interest to obtain full approval from the MBPDRC prior to seeking a building permit from the city of Polson to avoid potential costly changes and/or fees.

The MBPDRC shall only review, approve and/or disapprove submitted plans and specifications regarding style, exterior design, appearance, location, and compliance with the provisions set forth in this Manual and requirements included in the CC&R's.

The MBPDRC shall not be responsible for reviewing and/ or approving any improvement plans and specifications for: engineering design, structural engineering, and safety, or for compliance with applicable zoning, building, or other county, state, or federal laws, ordinances, or policies.

Along with obtaining all necessary approvals from the Design Review Committee as set forth in the CC&R's and this Design Manual, each owner is obligated to obtain all necessary governmental approvals. Plans and specifications are to be prepared in accordance with all applicable governmental laws and regulations affecting the use of the property and the improvements thereon.

As more houses are built, the current physical appearance of the neighborhood will inevitably change. This may bring houses in closer proximity to each other and may affect existing viewsheds. While these changes may cause some concern for existing homeowners, the role of the Design and Review Committee is only to ensure that new homes meet the established criteria. The Committee does not serve as a personal advocate or negotiator for existing homeowners who may have a concern about a proposed project's impact on their own home.

If the Committee sees a way that a proposed design might be adjusted within the terms of the Design Manual to reduce some impact on a neighbor, it will make suggestions. However, every new potential homeowner has the same right as those who came before them to build the house of their dreams, as long as it complies with these design criteria.

Submitted house plans will be made available for viewing at the Community Center Office for the benefit of other Preserve homeowners with the clear understanding that these may be preliminary and subject to change in accordance with the process described below. Also, they should be viewed with the clear understanding that only



the Design Review Committee has the authority to insist on changes, and only in accordance with these design criteria.

### **Jurisdictional Review & Approval**

Approval of any project by the MBPDRC does not waive the requirement for permits from local governing agencies, State of Montana, or any other governmental or quasi-governmental agency having jurisdiction in Mission Bay Preserve. Nor does the obtaining of all required permits from local, State of Montana, or any other governmental or quasi-governmental agency having jurisdiction in Mission Bay Preserve waive the need for the MBPDRC approval.

The MBPDRC will not knowingly approve a project that violates jurisdictional building or zoning codes. The MBPDRC takes no responsibility for a plan's conformance to any criteria other than those found in the Mission Bay Preserve Design Manual.

Neither the MBPDRC nor the MBP Board of Directors, officers, agents or employees shall be liable for any damage, loss, or prejudice suffered or claimed on account of (1) the approval or disapproval of any plans, drawings, and specifications, whether or not defective, (2) the construction or performance of any work, whether or not pursuant to approved plans, drawings or specifications, (3) the development of any property within the project or (4) the execution and filings of Notice of Non-Compliance.

### **The Mission Bay Preserve Homeowners Association**

All Mission Bay Preserve property owners are enrolled as members in good standing of the Mission Bay Preserve Homeowners Association (MBPHOA). Members are thereby subject to the Rules, Regulations, and Covenants, Conditions and Restrictions (CC&R's) and Bylaws of the Mission Bay Preserve Homeowners Association (MBPHOA).

The Mission Bay Preserve Homeowners Association Board reserves the right to amend, change or revise any or all of the requirements contained in this Design Review Manual at any time.

### **Mission Bay Preserve Design Review Committee Membership**

The MBPDRC members are appointed by the Mission Bay Preserve Board in consultation with the existing MBPDRC committee members. The committee will have a minimum of 3 and a maximum of 6 members.

### **Projects Requiring Review by the MBPDRC**

By way of illustration, but without limitation, the following improvements require submission to the MBPDRC for approval:

All construction or installation related to new homes and buildings, external remodels, and landscaping including dwellings, garages, retaining walls, steps, awnings, canopies, poles, trellises, patio overheads or decks, gazebos, sundecks, wind screens, fountains, spas, hot tubs, exterior lighting, and solar energy systems.

Also included is installation or modification of landscape, hard scape, trees, shrubs, plants, drainage systems, recreation areas or courts and surface drainage revisions.

Subsequent changes or other improvements to the property after completion of the initially approved and/or constructed structure, landscaping, etc. must be submitted

through the same design review procedure for approval by the MBPDRC prior to the commencement of any such improvements.

All smaller projects and improvements including but not limited to those listed above, will be subjected to a submission fee of 5% of the total estimated cost of the project, not to exceed \$250.00. This fee as well as a completed application will be required prior to the commencement of any work on the project. (See application in appendix.)

## **Where to ask questions and submit materials**

Most communication regarding projects should be done through the MBPDRC email account (see below). The staff at the front office of the Mission Bay Community Center cannot answer questions about a project and will ask you to communicate directly with the MBPDRC.

All digital files related to a submission should be sent to the MBPDRC email account.

All hard copies of submissions must be provided by either hand delivering them to one of the HOA staff at the Mission Bay Community Center Office during regular business hours or by mailing to the address listed below. All materials not suitable for mailing must be hand delivered to staff there to receive the proper attention and processing.

Hard copies of submissions can also be mailed to the MBPDRC address listed below.

MBPDRC@missionbayhoa.com

Mission Bay Preserve Design Review Committee  
312 Montana Landing  
Polson, Montana 59860

The \$1000 design review fee must be submitted at the same time the application is submitted. This can be done in person to office staff, by mail or to a MBPDRC member during an introductory meeting covered in "Initial Contact with the MBPDRC" below.

Please note that the MBPDRC may, upon written or proper notice, change the address for the submittal of plans and specifications.

## **Appeal Process**

Should the MBPDRC disapprove any submittal, the owner has the right to appeal the decision to the Board of Directors of Mission Bay Preserve Homeowners Association pursuant to the Mission Bay Preserve CC&R's. A non-refundable fee of \$500.00 must accompany the written appeal. The Board Appeal Form is located in the Forms section.

## **Stages of the Approval Process**

The process has six stages:

- 1. Initial contact with the MBPDRC**
- 2. Schematic Design Review**
- 3 Working Drawings Review**
- 4. Permitting**
- 5. Construction**

## **6. Final Approval**

### **1. Initial Contact with the MBPDRC**

The entire approval process begins when the Homeowner contacts the MBPDRC at their email address of their intent to submit a design for review. A meeting between the homeowner and a member or members of the MBDRC may be scheduled at this time to go over the Mission Bay Preserve Design Manual and submission requirements. If a meeting time cannot be arranged or the homeowner declines a meeting, this information will be transferred to the homeowner digitally.

If a meeting is arranged, the homeowner will bring the signed Application Form in the Section V. Forms and Checklists, and the application fee of \$1000 to the meeting to give to a MBPDRC member for filing. A member or members of the DRC will go over the Design Review Manual and explain the design review process. In the event a meeting is not arranged, the homeowner must submit the Application Form and fee to the Community Center Office Staff or remit by mail.

It is upon the Property Owner or Property Owners Representative to contact the City of Polson Building Department at approximately the same time to learn of city requirements concerning construction of a new home.

The Property Owner and Architect/designer are encouraged to contact the MBPDRC with any questions during the review process at the email address listed on page 6.

### **2. Schematic Design Review**

This stage reviews the overall proposed design before working drawings are begun. Approval ensures that the design has met the intent of the Design Review Manual requirements before the owner invests additional resources in the development of working drawings.

To begin this part of the review process, the Homeowner must provide to the MBPDRC a complete set of drawings containing the required information listed below. A hard copy of these drawings must be submitted to the MBPHOA Community Center office Staff, and a PDF copy must be submitted to the MBPDRC by their email. This submitted material will then be reviewed by the MBPDRC for completeness, using the "Schematic Design Completeness Checklist" in Section V below.

If the submission is found to not be complete, the homeowner will be informed in writing about what is missing. The submission must be revised by the Homeowner to include the new information and/or material so that there is one complete and accurate submission. The MBPDRC will not accept a submission with subsequent modifications as separate attachments to the original.

When the submission has been determined to be complete, the homeowner will be informed in writing, and the DRC will schedule the project for review. If a complete project is received before the monthly deadline\*, it will be reviewed at that month's scheduled MBPDRC meeting. If it missed the deadline, it will be reviewed at the next month's scheduled meeting.

(\*The monthly deadline is two weeks prior to the scheduled MBPHOA Board Meeting)

The MBPDRC will review the project in relation to the "Schematic Design Review Checklist" in section V below. Each item will be evaluated to comply or not in accordance with the provisions of the manual. A written report will be provided to the owner confirming the outcome of the review.

If the project is deemed to have met the requirements, the homeowner will be approved to continue on to the working drawings stage.

If the project did not meet all requirements, the homeowner will adjust the submission accordingly and submit again. The same process as above will be followed for reviewing the adjusted drawings.

Approval or disapproval by the MBPDRC shall be in writing.

**The Schematic Design submission must include the following drawings:**

**1. Plot Plan/Grading Plan:**

Min. Scale 1" = 10'-0"

- Show Property lines accurately, including length, angles, and amount of curve.
- Show all existing buildings, structures, walks, setbacks, sidewalks, slopes, and street right-of-way contiguous to the Property.
- Show required building envelope setbacks.
- Show footprint and accurate locations of all proposed structures.
- Show both existing and final contour lines, to indicate: 1) how the building sits on the ground (see "Siting, Massing, Scale and Proportion" in Section III), and 2) how site drainage will be managed. This includes any proposed retaining walls, and stormwater retention ponds required by the City of Polson.
- Show the materials, color and height of all proposed retaining walls and patio walls. Heights should be noted in relation to adjacent ground elevations.
- If your lot is 11-18 in The Ridge, show the diagonal lines from the four corners of the lot, and the point and elevation of the natural grade at which they cross.
- If your lot is 19-24 in The Ridge, show the location at the center of the street from which the height limit is measured.
- Show driveway, off street parking, and location of the monument house number sign.
- Summarize the square footage of the first floor, second floor, garage, covered decks/porches and basement. This must indicate that no more than 35% of the total livable floor area is on the second floor, as per section "Site Planning Requirements in Section III.

**2. Landscape Plan:**

Min. Scale 1" = 10'-0"

- The plan should show the footprint of all buildings and include an overview of the types of trees, shrubs, walls, trellises, arbors, gazebos, drainage, grading, and mechanical equipment.
- With dotted lines, indicate the viewsheds of homes or home sites behind you that cross your site.
- On each tree, indicate maximum tree height at maturity.
- Projects in the Meadows should show the three landscape zones.

### **3. Floor Plan:**

Min. Scale 1/4" = 1'-0"

- Indicate all walls, columns, openings, and any conditions or features that will affect the exterior design of the building.
- Scale accurately all items and parts of plans and details, including balconies, decks, atriums, garages, accessory buildings, and patio covers.
- Include notes on all exterior items that cannot be clearly noted on the elevations.
- Show the square footage of each floor, and the total living area.

### **4. Cross sections.**

Min. Scale 1/8" = 1'-0"

- One longitudinal section and one cross section through the project, consistent with the plans and elevations. These are used to see how the building fits the land, and how much cut and fill will be needed. So they do not require much detail within the section cut itself.
- Show the original and finish grades through each section, continued out 20 feet beyond the building.

### **5. Elevations:**

Min. Scale 1/4" = 1'-0"

- Provide exterior elevations to scale of all proposed buildings. All horizontal elevation points must be shown on the elevations (i.e., ridge lines, balconies, terraces, etc.).
- Draw the existing and proposed final grades on all the faces of all elevations.
- Draw the maximum height information on the most appropriate elevation. Provide measurements for each question mark (?) in the dimension lines shown.
  - For lots in the Ridge that are NOT 11-24, and all lots in the Meadows, follow diagram "A" below.
  - For lots 11-18 in the Ridge, follow diagram "B" below.
  - For lots 19-24 in the Ridge, follow diagram "C" below.
- For all lots in The Ridge and The Meadows whose height is restricted by the height of the elevation facing the street, draw a horizontal line across each elevation at the maximum height allowed. Label this "maximum building height."
- For lots 11-18 in The Ridge, draw a horizontal line across each elevation 26' above the natural grade at the crossing of the diagonals of the property lines. Label this "maximum building height."
- For lots 19-24 in The Ridge, draw a horizontal line across each elevation measured 18' above the center crown of Pheasant Ridge at the center of the

property line. Also, draw a line 28' parallel to the natural grade. Label these "maximum building height."

- All finish materials, colors and textures must be identified on each element of the elevations.

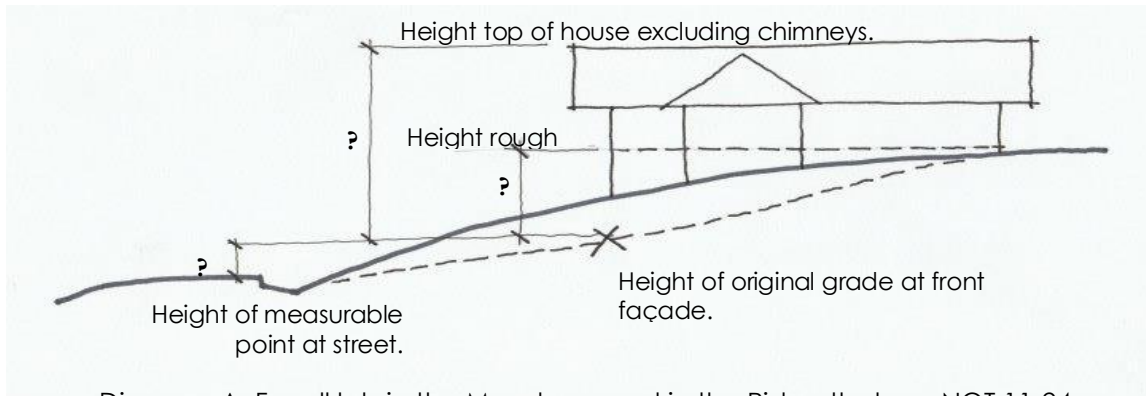


Diagram A. For all lots in the Meadows, and in the Ridge that are NOT 11-24.

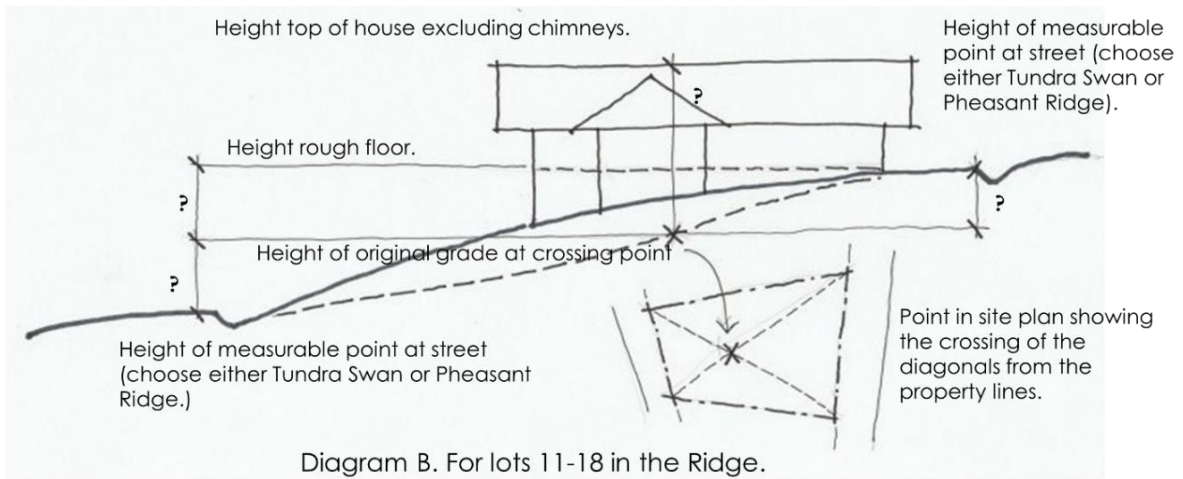
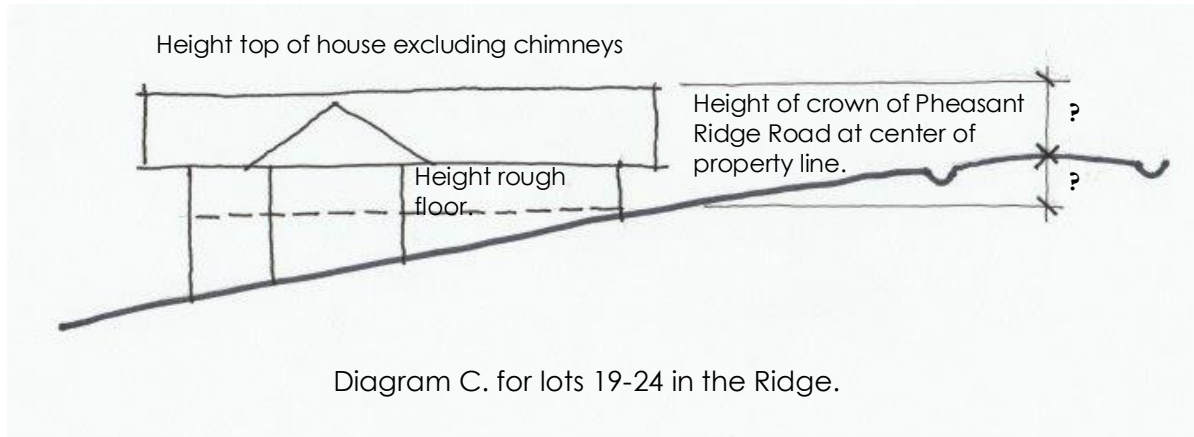


Diagram B. For lots 11-18 in the Ridge.





### 6. Other Documents:

- Other documents may be required or deemed necessary by the MBPDRC to clarify issues.
- Perspectives, isometrics, or renderings are additional drawings that are not required; however, they may assist the MBPDRC to understand the proposed design.

The MBPDRC reserves the right to grant variances from the design guidelines rarely and on a case-by-case basis. It does not imply approval for any subsequent application of nonconforming improvements.

## 3. Working Drawings Review

Once the submission is approved in the schematic design stage, it moves to the next stage of working drawings review. These are the same set of drawings that will be submitted to the city building department for approval and must include all information required by them. You must check with the city for their requirements.

As explained previously, the reviews performed by the MBPDRC only consider the working drawings for the resulting visual appearance of the proposed home and its compliance with the Design Review Manual. The review does not consider or make recommendations on anything related to the engineering, construction, compliance with building codes, safety, etc. of the proposed home.

The Working Drawings submission must contain the required information listed below, plus any additional drawings and specifications required by the city. When complete, a hard copy of the drawings and the sample board will be submitted to the MBPHOA front office, and a PDF copy of the drawings will be submitted to the MBPDRC by email.

This submission will be checked for completeness using the "Working Drawings Submission Completeness Checklist" in section V. If the submission is not complete, the homeowner will be informed in writing about what is missing. The submission must be revised to include the missing information in the set of drawings so that there is one complete and accurate submission. The MBPDRC will not accept a submission with modifications as separate attachments to the original.

Once a set of drawings is determined to be complete, the homeowner will be informed in writing, and the MBPDRC will schedule the project for review. If a complete Working

Drawings Submission is received before the monthly deadline\*, it will be reviewed at that month's scheduled MBPDRC meeting. If it misses the deadline, it will be reviewed at the next month's scheduled meeting.

(\*The monthly deadline is two weeks prior to the scheduled MBPHOA Board Meeting.)

The MBPDRC will then review the project in relation to the "Working Drawings Review Checklist" in section V below. Each item will be evaluated to comply or not in accordance with the provisions of the manual. A written report will be provided to the owner confirming the outcome of the review.

If the project is deemed to have met the requirements, the Homeowners Association will issue a letter to the city of Polson, saying the design has been approved by Mission Bay Preserve and is ready to be reviewed by the city in order to obtain a Building Permit. The homeowner then will submit the drawings to the Polson Building Department for their review.

Firm approval or disapproval decisions by the MBPDRC shall only be done in writing.

**The Working Drawings submission will include the following fully dimensioned drawings:**

**1. Note on conformance to approved schematic design.**

- A note should be included on the first page of the drawing set indicating any changes made from the approved schematic design.
- The working drawings require additional details not required for the schematic design, and these do not have to be included in this note unless they changed the design relative to the approved schematic design.

**2. Site Plan.**

Min. Scale 1" = 10'-0"

- This must include all the information required for the Schematic Design submission.
- Indicate flow lines and drainage patterns both existing and proposed.
- Show cut & fill requirements.
- A point must be indicated on the street adjacent to the site, which can be used as a permanent reference for the height limit. It could be a property line pin, or a water line cover plate. Show dimensions to the property lines, and label this "height limit reference point." Its height will be used on the elevations as explained below.

**3. Floor Plans.**

Min. Scale 1/4" = 1'-0"

- This must include all the information required for the Schematic Design submission.

**4. Foundation Plans.**

Min. Scale 1/4" = 1'-0"

**5. Elevations.**



Min. Scale  $\frac{1}{4}" = 1'-0"$

- This must include all the information required for the Schematic Design drawing submissions.
- Show all major architectural elements.
- Label the material and color for every individual element in the elevation.

## 6. Cross sections.

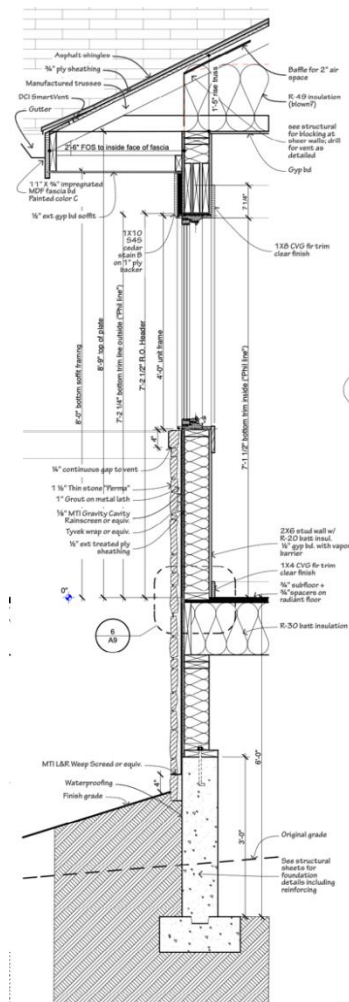
Min. Scale  $\frac{1}{8}" = 1'-0"$

- One longitudinal section and one cross section through the project, consistent with the plans and elevations.
- Show the original and finish grades through each section.

## 7. Wall sections.

Min. Scale  $\frac{1}{2}" = 1'-0"$

- Show sections through each major wall type (i.e., at gable ends, wall under roof sloping down to soffit, where wood sits on stone, etc.).

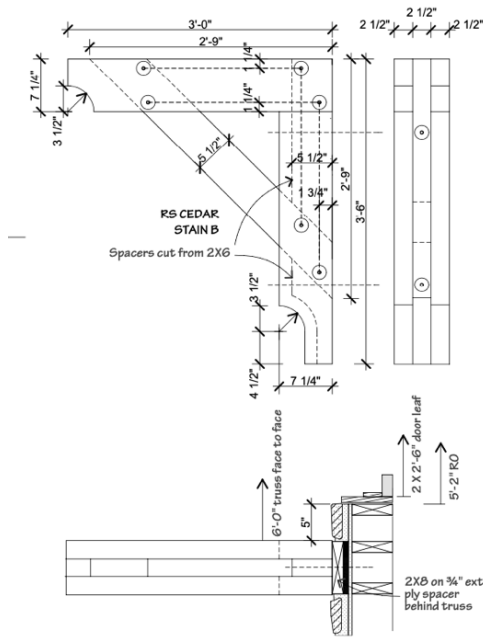


Example of wall section, showing all materials and junctions.

### 8. Major Architectural elements details (see example below).

Min. Scale  $\frac{3}{4}" = 1'-0"$

- Show detail drawings of all major architectural elements like brackets, exposed heavy beam trusses, decorative columns, chimney caps.
- Show plan and elevation of all door and window trim, indicating thicknesses.
- These should show all junctions between materials, and the details of trim, soffits, facias, caps on stone, etc.



Example of major decorative detail.

### 9. Roof Plan:

Min. Scale  $\frac{1}{4}" = 1'-0"$

- Show plan of all proposed roofs with slope pitches and overhangs relative to the walls below.
- Indicate all materials.
- Indicate any unusual conditions or construction requirements

### 10. Landscape Plan:

Min. Scale  $1" = 10'-0"$

- Same requirements as in the Schematic Design submission.
- Show all walls, trellises, arbors and gazebos, their location, material, and color.
- The plan should also include drainage, slope stabilization, and mechanical equipment.

### **11. Exterior Colors & Finishes:**

- All colors and materials must be pasted onto a 24" X 24" rigid sample board. In addition, all materials and colors must be indicated on all of the corresponding elements of the elevation drawings, and cross referenced to the sample board.
- Color swatches printed from the computer are inaccurate and not acceptable for review. Color swatches provided by paint manufacturers must be used. Paint Display Chips are too small for this requirement and cannot be used for the sample board. It is highly recommended to provide a sample of the paint color(s) on the siding that will be used.
- All colors and materials must be identified with a manufacturer's name and list number/name.
- A photo of the roofing material and stone and/or brick must be included in the sample board, and physical samples must also be provided.

### **12. Written specifications for all work**

- in accordance with best practices for building construction documents.

## **4. Permitting**

As stated above in "Working Drawings Review", once the Working Drawings are approved by the MBPDRC, the homeowner will submit the drawings to the City of Polson Building Department for a Building Permit. Once the Polson Building Department issues the building permit, the homeowner shall submit hard copies of the following to the MBPHOA office:

- (1) Copies of all Building Permits,
- (2) Copies of all Stormwater Mitigation Plans required by the city
- (3) Copies of the Building and Planning Department's comments and required changes (if any,)
- (4) Copies of all insurance documents related to the construction process, and
- (5) The \$10,000 Compliance Deposit (See section on "Deposits and Insurance" below)

To ensure compliance with the MBP Design Guidelines, the MBPDRC shall review the city's comments and conditions for approval and any changes to the construction plans required by the city.

If the city of Polson or any other agency requires a change to the design that would affect the visual appearance and bring the project out of compliance with the Design Manual, the homeowner must contact the MBPDRC with this information and submit the required changes for review. Any changes made must still conform to the guidelines found within the Manual. In rare instances, the homeowner may apply for a variance from the MPBHOA Board for changes that do not conform to the design guidelines.

When all steps delineated in 1-5 above have been completed in their entirety, the MBPDRC shall issue a written **"Notice to Proceed"** to the Property Owner.

**Caution:** No work of any nature may commence on any lot in the Mission Bay Preserve

until the Property Owner has been issued **both (1) a Building Permit from the city of Polson, and (2) a written Notice to Proceed from the MBPDRC.**

If the Property Owner, after receiving a Building Permit from the city of Polson and a Notice to Proceed from the MBPDRC, fails to commence construction on their lot before the city's Building Permit expires, (currently 180 days), then both the Building Permit and the Notice to Proceed expire at the same time. The Property Owner shall be required to obtain a new Building Permit from the city, and a new Notice to Proceed from the MBPDRC to commence work on their lot with a \$500.00 Resubmittal Fee before any construction activity can begin.

## 5. Changes During Construction

Any proposed changes or deviation from the approved plans occurring during construction must be submitted to the MBPDRC for approval prior to the commencement of such changes.

For approval of a change to the design during construction, the homeowner must contact the MBPCRC and submit their proposed change. The homeowner must bring the physical drawings and/or revised sample board showing the proposed change(s) to the Mission Bay Community Center Office Staff. The revision must be redrawn on the relevant original sheet of working drawings and noted with a revision date so that there is a clear record of what is approved.

The Committee shall review any proposed changes in relation to the requirements of the Design Manual. The MBPDRC is under no obligation to approve a proposed changes to the approved plan if it does not conform to the Mission Bay Preserve Design Manual.

Construction must be halted and cannot resume except pursuant to an approved plan. Failure to obtain approval from the MBPDRC for deviations from the approved plan may result in any or all of the following penalties:

- Revocation of the existing Design Review Committee approval
- Termination of ongoing site construction
- Forfeiture of all or part of the owner's \$10,000 deposit; and
- Payment of all fees and costs which may be incurred by the Mission Bay Preserve HOA.

NOTE: the MBPDRC members will make periodic checks of construction progress based on approved home plans.

## 6. Final Approval

After construction has been completed, the certificate of occupancy by the city has been issued, and landscaping has been approved, the owner shall submit to the MBPDRC the completed form "Notice of Completion" (in Section V). After inspection, the MBPDRC must notify the owner of either final approval of the construction project or noncompliance with the approved plans and specifications.

On completing the inspection, the MBPDRC will recommend to the MBPHOA Board of Directors whether all or some of the refundable Compliance deposit will be released. If the project is not in compliance, the homeowner will have an opportunity to rectify the problem(s). The amount ultimately released will be determined by the extent to which

the project was completed in compliance with the approved plans and specifications. The Owner shall also have the right at this time to request permission to release any insurance policies that have been held against the Property.

## Deposits & Insurance

Owners shall, at the time of obtaining all required building permits, pay to the Mission Bay Preserve Homeowners Association or their agent through escrow the following deposit: ten thousand dollars (\$10,000) to assure compliance with the approved development plan and the proper clean-up of dirt and debris and repair of any damage to the landscaping, private streets and entry gates/or monuments within Mission Bay Preserve caused by the Property Owners or agents in the construction of their home. Upon receipt of this Compliance Deposit and all necessary permits as set forth on page 1.5, the Owners shall be provided with the Notice to Proceed from the MBPDRC. Under no circumstances will construction begin prior to the issuance of the Notice to Proceed by the MBPDRC.

The \$10,000 deposit shall be held until construction approval and landscaping is complete. All landscaping is to be completed as approved within ninety (90) days of receipt of the certificate of occupancy. Any deviation to this timeline must be cleared through the MBPDRC. Any refund due to the owner will be distributed only after the issuance of a certificate of occupancy by the building department, completion of landscaping and a written request for the return of the Compliance Deposit by the owner to the MBPDRC has been received. The MBPDRC will have the discretion to recommend to the MBPHOA Board the release of the respective deposits after determining that any non-compliance with the approved development plan and/or damage caused by owners in the construction of their custom or production home has been repaired.

Prior to the commencement of construction, the Property Owner shall purchase and require his or her contractor and subcontractors to purchase general and auto liability insurance and shall maintain and cause contractors and subcontractors to maintain insurance which names the Mission Bay Preserve Homeowners Association and Mission Bay Preserve Design Review Committee as additional insureds on a primary and non-contributory basis. Copies of all insurance will be provided to and retained in the Mission Bay Manager's Office.

These Certificates of Insurance must be maintained for the entire period of time necessary to construct the owner's residence or residential addition/renovation, and through the time frame to obtain a Certificate of Occupancy, in the amount not less than one million dollars (\$1,000,000.00). Each liability insurance policy shall contain the following clause:

"This insurance shall not be canceled, limited in scope of coverage, or non-renewed until thirty (30) days written notice has been given to:

The Board of Directors  
Mission Bay Preserve Homeowners Association  
312 Montana Landing  
Polson, Montana 59860

## Construction Information

### Construction Activities

- The Property Owner is solely responsible for the acts of their contractors, sub-contractors, and any owner's agents. The failure by any Property Owner, their contractors, subcontractors, and agents to comply with this Section shall subject them to an immediate **"Stop Work Order"** from the MBPHOA and may result in legal action at the Property Owner's expense to ensure compliance.
- During construction, the lot must be kept clean of trash and construction debris. The MBPDRC and Mission Bay HOA will monitor all construction activities for compliance. A fully enclosed, solid sided waste dumpster with a minimum three (3) cubic yards is required on all construction sites. The dumpster must be emptied when full. All portable toilets must be maintained and removed immediately upon construction completion. Portable toilets should be placed in an inconspicuous location.
- All construction activities and materials are restricted to the lot for which the permit was issued.
- All weight limits for trucks must always be adhered to. There may be times during spring break up when load limits are less. MBPDRC requires all construction hauling for Mission Bay Preserve building sites to adhere to all county regulations during this time.
- Staging areas for building materials must be kept clear of the road right-of-way, adjacent lots, and common properties unless prior approval has been granted by the MBPDRC. Construction equipment and vehicles shall not use adjacent lots for egress or parking.
- The washing-out of concrete trucks on Mission Bay Preserve property is strictly prohibited. This includes roads, ditches, road right-of-way, common property and adjoining lots. Any necessary wash-out should be performed on the lot where construction is taking place.
- Should blasting be required for site excavation, the MBPDRC must be provided with a minimum of two weeks' notice.
- Construction activity of all types shall be limited to the hours between 7:00 AM and 6:00 PM, Monday through Saturday. Activity on Sunday is strictly prohibited, except for unusual hardship cases. These will be reviewed on a case-by-case basis and approved by the MBPDRC. Written notification and approval are required from adjacent property owners for any proposed activity seven days in advance of the activity.
- It is the ultimate responsibility of the owner to enforce compliance on the part of all contractors, sub-contractors, and employees with regard to all Mission Bay Preserve rules and regulations concerning dogs, speed limits, hours of construction and site clean-up. Community landscape areas and amenities must be protected during all construction operations through the use of fencing or other barriers.
- Streetscape materials damaged by construction will be replaced by the MBPHOA at the property owner's expense.
- The Owner must provide a time schedule for the start and completion of construction as a part of the final working plans submitted. All new construction will be expected to be completed, including landscaping, within 12 months

from initial excavation. Any deviation to this timeline must receive a letter of approval from the MBPDRC. The MBPDRC may also request periodic status updates from the owner over the course of the build.

- If construction is to be delayed by more than 6 months from the time of the final working drawing approval, it is up to the owner to submit a letter to the MBPDRC to provide notice of intent to begin construction within 4 months of the planned construction start date. If any changes have been made in the interim to the approved plans, this must be brought to the attention of the MBPDRC for approval prior to the commencement of any construction activity.
- Any interruptions that result in a halt to the construction progress must be brought immediately to the attention of the MBPDRC. Depending on the anticipated length of cessation of building activity, the following actions may be imposed. This list is not all inclusive:
  - Temporary safety fencing or other barriers installed around the perimeter of the excavation site.
  - Concealed storage of all building materials.
  - Removal of all heavy equipment from the site.
  - Removal of all debris from the site.
- Extended interruptions will be referred to the Mission Bay Preserve HOA Board.

### **Lot Clearing & Grading**

- Lot clearing and/or grading is prohibited prior to the issuance of a building permit by the city of Polson Building Department AND the receipt of a Written Notice to Proceed from the MBPDRC.
- All proposed tree clearing shall be reviewed by the MBPDRC prior to removal to assure the retention of as many trees and flowering plants as practical.
- Dead, diseased, downed trees or low hanging limbs which are a safety hazard may be removed with the approval of the MBPDRC.
- All debris shall be removed from the lot within fifteen (15) days of Certificate of Occupancy.

### **Landscape Construction**

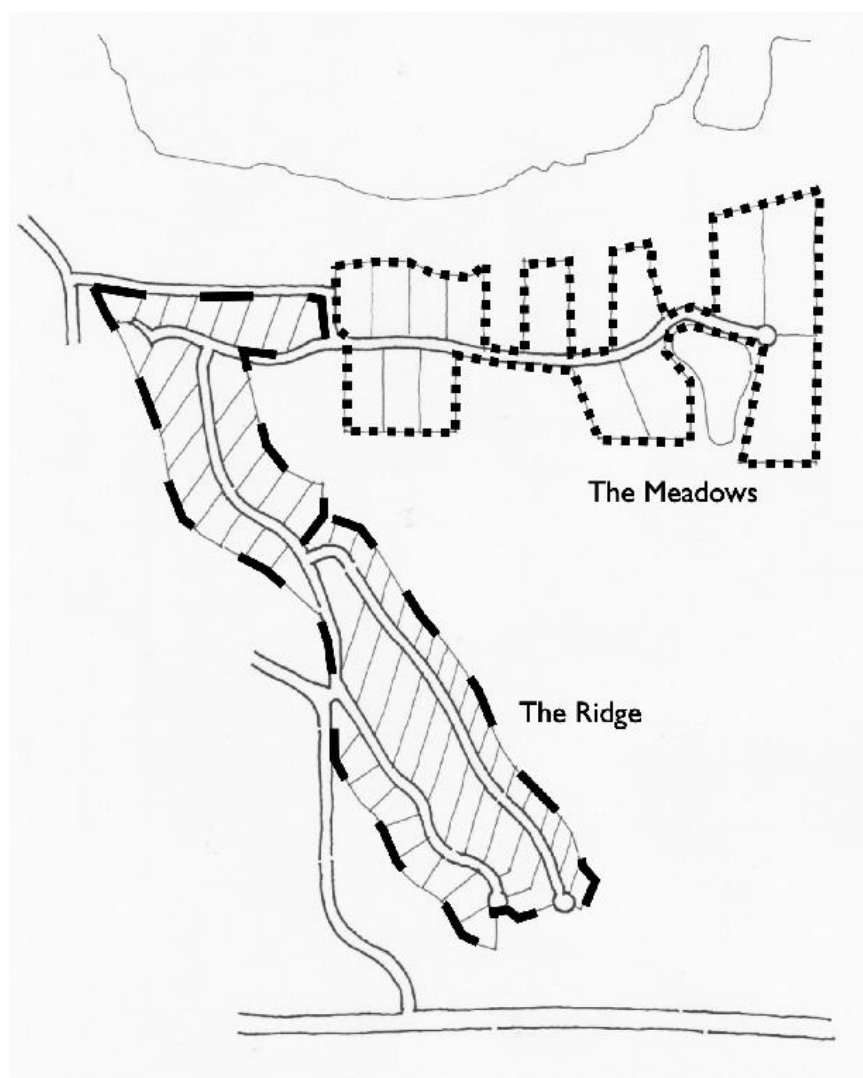
- Existing desirable trees, shrubs, and native vegetation within the site of construction or adjacent sites must be protected and preserved, to enhance the natural setting desired within Mission Bay Preserve.
- Building materials are prohibited from being stockpiled within the drip line of trees to be preserved.
- Ground disturbance within the drip line of any trees must be approved by MBPDRC



## III. ARCHITECTURAL DESIGN

### Two neighborhoods in the Preserve

The preserve is divided into two neighborhoods for purposes of this design manual: the Ridge outlined in broken lines below, and the Meadows outlined in dotted lines. The Meadows lots are larger and are in the views to the lake for most of the houses in the Ridge behind. For these reasons, there are some special rules for the Meadows lots that are different from those for Ridge lots. Where rules are different for the two neighborhoods, they will be called out specifically for each one. Where differences are not specified, the rules apply equally to both neighborhoods



*Two neighborhoods  
in the Preserve.*

*Dotted: The  
Meadows*

*Broken Line: The  
Ridge*



## Site Planning Requirements

Mission Bay Preserve is semi-rural in nature, with a spectacular natural setting, roaming wildlife, generous lot sizes, and gently curving residential roads.

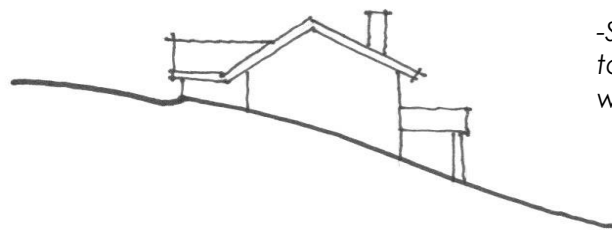
To maintain this semi-rural feeling, buildings must harmonize with the land as much as possible, letting the natural setting dominate the environment. Each building should be carefully adjusted to its own site by taking into full consideration the views, orientation to the sun, slope of the land, trees and vegetation, and any other distinctive natural features.

Montana has a well-established principle for living with the land-leave as light a footprint as possible. The same principle applies to building in the Preserve. Make the house feel like it grows out of the land, in harmony with its natural setting.

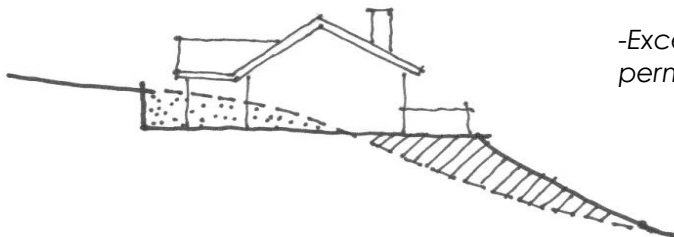
Maintaining this semi-rural character, while also protecting the privacy of each house and its views to the lake and mountains, requires some specific constraints on the siting, the size and the location of each building and its construction details. The following explains these requirements.

### Fitting the natural land contours

The Preserve's semi-rural character depends upon keeping the natural contours of the land untouched as much as possible. The more the land is chopped up or the natural landforms are disturbed, the more the neighborhood feels urban and "developed" rather than semi-rural. To avoid the feeling of urbanized development, the houses must fit into the natural contours, letting the land flow around them, rather than using excessive cut and fill to flatten out a building site. The following diagram explains this:



*-Siting of home is to conform to the natural topography when possible.*



*-Excessive cut or fill is not permitted.*

If a site has a drop greater than 10' across the buildable area, consider a walk-out design to accommodate the slope of the land. If the natural contour of the land would hit the side of a house higher than a half a story up, construct the wall so that the grade

comes up to the house itself (with a drainage swale behind), rather than building a retaining wall in the landscape directly behind the house.

Finish grading should produce graceful contours, rather than sharp angles by providing transition at the top and toe of slopes. Changes to contours on the site must be contained within the site, and not change the contours of the adjacent sites. Any contour changes near the adjacent sites must connect gracefully to the adjacent land, avoiding any abrupt artificial hills or valleys.

Where the natural land contours inevitably require abrupt contours near the property lines, (example: see the remnant ditch running between the first two homes to the north on Red Tail Road), the two neighbors must work out a plan amenable to both, and that plan must be approved by the MBPDRC.

## **Site water management**

The city of Polson requires a plan, (produced by a licensed civil engineer), for managing the water runoff on each site. The impervious surfaces on your site also affect your water runoff management, particularly if you are considering large, paved areas like patios, driveways, and parking. It is therefore important to establish those water management requirements early in the design of the project.

Since these considerations affect the grading contours and appearance of the land as discussed above, the plan to be submitted to the city must first be submitted to the MBPDRC for its approval. This will be included in the landscape plan discussed in the section on drawing submissions and approvals.

Please also be aware that wherever a driveway crosses a drainage ditch beside the road, a culvert must be installed so as not to impede water drainage.

## **Driveways**

On sites with significant slopes, it is recommended that driveways be designed to follow the natural contours. On flatter home sites, driveways should always be curvilinear rather than linear to create a more interesting and varied streetscape. Minimum driveway width is twelve feet (12'-0").

Driveway tie-in to the street must be made with "clean lines" and vertical cuts against the pavement. Regardless of the surface used, a "thickened edge" must be used against the street.

## **Building Setbacks**

To help maintain the semi-rural feeling of the neighborhood, and to preserve as much privacy for each house as possible, all structures must be set back from the property lines. Following are the minimum setbacks required. It is strongly encouraged to also keep each house as far away from the side setbacks as possible. Roof overhangs should be kept inside the setbacks, however in special circumstances, permission may be sought from the MBPDRC to allow overhangs outside the setbacks.

**The Meadows**

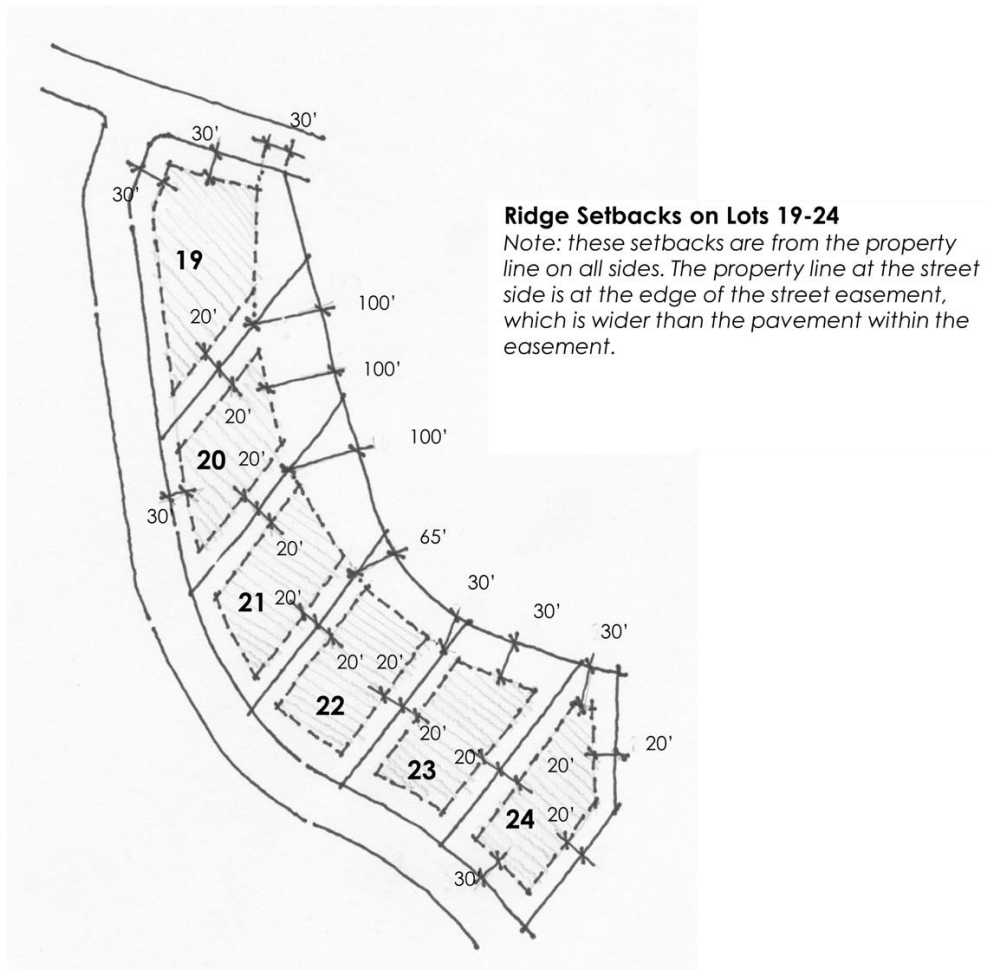
All buildings and structures shall be set back 75' from the property line facing a street, and 100' from the rear property line. If a property line on the side adjoins another private lot, its setback is 30'. If the side property line adjoins a public space, its setback is 50'.

**The Ridge**

Unless otherwise specified in the lists below, all buildings and structures shall be set back a minimum of 30' from the property line facing a road or roads, and 10' from the side property line. The rear setback shall be a minimum of 15'.

Exceptions:

1. Lots 202 through 212 shall be set back a minimum of 30' from the property line facing a road or roads, and 10' from the side property lines. A specific setback line has been established to create a green space area on the hill facing Red Tail Road. Owners of these lots must consult with the MBPDRC to identify their specific rear setback.
2. Lots 19 through 24 have special setbacks to help preserve the view corridors of the houses across the street. These lots shall be set back a minimum of 30' from the property line facing a road or roads, and 20' from the side property lines. The rear setbacks vary according to the lot. See diagram on next page.
3. Lots 202 through 206 have special restrictions, defined in a Declaration of Building Restrictions and Memorandum of Agreement dated 10 February 2004 that can be seen in its entirety at the HOA Office in the Community Center. The first restriction is the building setback line to the northeast, which is shown in the attachment "Exhibit A Phase II-A". The setbacks at the street side and the side yards of these lots are the same as the rest of the Ridge neighborhood. The second restriction is an area set aside as a "Green Space Area" free of any building construction and development and maintained by the Mission Bay Preserve Homeowners Association. Its boundaries can be seen in the attachment "Exhibit B Phase II-A". Copies of these Exhibits are attached at the end of this Design Manual.
4. Lots 207 through 212 have the same restrictions, defined in a Declaration of Building Restrictions and Memorandum of Agreement dated 2 August 2005. The northeast building setback line can be seen in "Exhibit A Phase II-B and II-C", while the Green Space Area can be seen in "Exhibit B Phase II-B and II-C". The building setbacks at the street side and the side yards of these lots are the same as the rest of the Ridge neighborhood. Copies of these Exhibits are attached at the end of this Design Manual.



## Maximum site coverage

The city of Polson has maximum coverage restrictions which must be followed. The MBPDRC will also review the proposed coverage to judge if it is consistent with the rural character of Mission Bay Preserve.

## Maximum building height

The Mission Bay Preserve Design Manual is intended to maximize the potential for building a variety of house types on each site, (such as one or two stories, walk-out basements, and so on), while also ensuring that houses do not unduly block the views of other houses behind them.

To this end, there are two different maximum building heights; one for sites that do not block other views, and a second for sites that are more in the line of other sites' views. In either case, chimney heights can exceed the maximum building heights.

Please note that some existing buildings approved several years ago may not have met these restrictions. The existence of buildings that exhibit any deviations from current restrictions, however, does not set precedent for new buildings. Current rules and

restrictions become increasingly important as the Preserve begins to approach maximum build-out, so we can maintain a fair balance among the interests of all owners in the neighborhood.

### **The Meadows**

No structure may exceed 26' in height measured from the natural grade at the façade facing the street. This is a horizontal plane. The specific lots in this category are lots 25, 27, 29, 32 and 34. Note that lots 35, 36 and 37 cannot exceed 28' in height.

The exceptions to the 26' max height are lots 24, 26, 28, 30, 31, and 33. Structures on these lots are restricted in height to approximately 22' because they are in front of the entire Preserve, and/or possess the potential to block view corridors. These restricted heights are a horizontal plane.

### **The Ridge**

For every site in the Ridge neighborhood, except for those specifically listed below, no structure may exceed 28' in height measured from the natural grade at the façade facing the street. This is a horizontal plane. Exceptions to this 28' high maximum are:

1. lots 11-18. No structure may exceed 26' in height from a point on the natural grade at the crossing of diagonals from the four property corners. This is a horizontal plane.
2. lots 19-24. No structure may exceed 18' above elevation of the crown of Pheasant Ridge Road measured at the center of the homesite frontage. This is a horizontal plane. Additionally, no structure shall penetrate a plane 28' above undisturbed natural grade anywhere within the building envelope.

## **Minimum home square footage**

### **The Meadows**

All home sites require a minimum livable square footage of 2,000 sq. ft.

### **The Ridge**

All home sites require a minimum home livable square footage of 1,600 sq. ft.

## **Ratio of first to second floor square footage**

A minimum of 65% square footage of the total must be on the main floor, while a maximum 35% can be on the second floor. In a walk-out basement design the floor with the main entrance is considered the main floor.

## **Architectural Style Requirements**

The Preserve requires all homes to be designed following the **Northwest Traditional Style**. This is to ensure that the neighborhood retains its distinctive character and overall visual harmony.

The Northwest Traditional Style is not a single style on its own. Rather, it is a generic term used to describe a certain character of designs traditionally built throughout Montana and the Rocky Mountain Region. Think of the rugged wooden and stone buildings in the national parks, the log structures of old ranch houses and the expressive wooden details

of Craftsman houses in Montana's older neighborhoods. Please also refer to Section G of this Manual: *A Gallery of Northwest Traditional Style Design*, and you can see the general flavor of the Northwest Traditional Style.

These types of designs have been traditionally favored in Montana because they harmonize with our stunning natural landscapes and express our distinctive western culture. The founders of the Preserve saw the continuing value of these two ideas and chose the Northwest Traditional Style as the defining character for the new neighborhood. Votes taken from homeowners at several recent Preserve HOA meetings have strongly affirmed that the neighborhood wishes this character to continue.

A significant part of the design approval process therefore involves judging whether a proposed design is consistent with the Northwest Traditional Style. To help the homeowners meet this requirement, and to help the MBPDRC judge its success, a list is provided below of several well-known architectural styles that are consistent with the Northwest Traditional Style. A design that strongly reflects one of these traditions will likely meet this style requirement of the design guidelines.

There is enough variety in the list of acceptable styles to accommodate homeowners' different aesthetic tastes and preferences. At the same time, the common roots in the values of the Northwest Traditional Style keep them feeling like they belong to the same general family. This is the key to the exceptional and successful balance of visual harmony and variety observed in the homes of the Preserve.

A second list below includes traditional architectural styles that would be inconsistent with the Northwest Traditional Style. A design based on one of these will not meet the style requirement of the design guidelines. Also, a design that is not based on any known architectural style would not meet the style requirement here.

Architectural styles are difficult to define exactly because the style is created not only by individual elements but also by how they are composed together to create a distinctive look and feel. The best way to study and understand each of the styles on the following lists is to look up examples online. A Google search on each style will bring up many good examples.

The Preserve strongly recommends hiring an architect or designer who is familiar with one or more of the acceptable styles. This will help ensure an efficient development of an acceptable design for the Preserve.

## **Acceptable styles**

The traditional design styles that meet this requirement are the following.

***Great Camp Style***

***Parkitecture***

***Prairie Style***

***Craftsman Style***

***Log Cabin***

***Shingle Style***

***Bungalow***

\*See examples of the Northwest traditional Style in sections "Examples of embellishment" and "Gallery of Northwest Traditional Style design" in this Manual.

## Unacceptable styles

Any architectural styles not in the list above are not allowed. The following are popular American house styles but are not appropriate for the Preserve.

***Mid-Century Modern***

***Modern Farmhouse***

***Spanish Colonial***

***Cape Cod***

***Modernist***

***International***

***Queen Anne***

***Tudor***

***Any other not in the approved list above***

If you choose an architectural style that is not on the approved list, you must demonstrate how it is consistent with the aesthetic appearance of the Northwest Traditional Style including all of its attributes that are explained below.

## Architectural Design Requirements

All the acceptable styles included within the general banner of the Northwest Traditional Style embody certain design and construction characteristics that have been tested and refined over many years. Following these styles will help you create a beautiful, constructible, functional home, and will ease the process in gaining design approval from the MBPDRC.

**Note:** Every home design in the Preserve is approved or disapproved by the MBPDRC based on the totality of design characteristics present in the finalized house plans presented, and not on any singular characteristic. The home must possess a harmonious balance of the criteria explained in this section to meet the spirit and theme of homes in the Mission Bay Preserve or it will not be approved.

Please contact the MBPDRC with any and all design and color questions prior to finalizing your choices to speed the approval process.

The following are the essential design characteristics of the Northwest Traditional Styles that must be followed for approval of a design:

### Building appears to grow out of the ground

Consistent with the design principles discussed in the section on site planning above, the building must appear to grow out of the ground.



**With masonry base**

Traditional buildings usually achieved this appearance by providing a substantial masonry base upon which the wooden superstructure sits. Besides looking good, this has a practical value; it keeps wood siding away from moist earth and piled up snow that will eventually damage the wood. In modern construction, this is achieved by marrying a masonry facing to a concrete foundation. This is recommended but not required.

If a masonry facing is used anywhere, it should penetrate the ground plane so as not to appear as a veneer.

If a masonry base is only used at the front façade, then the masonry must wrap around all corners a minimum of 24", to avoid the appearance of a thin veneer. A masonry pier must be wrapped around all sides.

Acceptable masonry materials are lists in the section on "Materials and Color."

**Without masonry base**

Anywhere a masonry base is not used, no more than 6" of the concrete foundation can be exposed. If elevations are on sloping ground, then the lower edge of the siding must parallel the final grade to achieve this.

**Building appears to be one story at the street side**

To maintain the low density, rural character of the neighborhood, the buildings cannot overwhelm the natural setting by appearing to loom high above the ground. Instead, the buildings should appear to be hugging the ground.

**Street façade**

To this end, the façade facing the street must appear to be just one story high, even if there is a second floor above. The second floor must be contained within the roof, using dormers and windows in gable ends to bring light to the second floor. The eaves of the roof must predominately come down to the top of the first-floor walls.

On sites that slope down to the street, a walk-out design by necessity is exempt from the rule of the street façade appearing to be one story tall. However, every effort should be made to break this mass down as explained in "façades not facing street" below.

As noted in "Ratio of first to second floor square footage" above, a minimum of 65% square footage of the total must be on the main floor, while a maximum 35% can be on the second floor. In a walk-out basement design the floor with the main entrance is considered the main floor.

**Façades not facing street**

Most of the Preserve building sites have sloping land. So, even if the street façade appears to be one story high, as one travels further down the hill, the taller the appearance of the house becomes. And, if the design is a walk-out, the house will inevitably look two stories tall at the walk-out side. The design should try to break down this larger mass wherever possible, by adding to the facades, (not facing the street), elements like decks, bay windows, or roofs over projections.

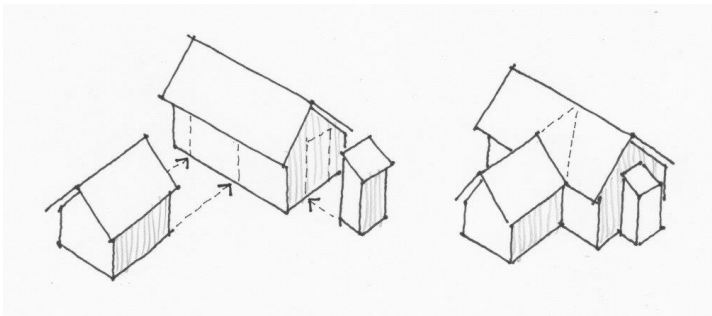


## Massing consists of rectangular roofed elements logically combined

The massing of all the approved styles is simple at heart. It consists of several rectangular boxes, each with its own simple roof, logically combined.

### Roofed rectangular boxes

Looking at good examples of the approved styles, you will see that the basic building blocks of the massing are roofed rectangular boxes. A final design will consist of many of these basic building blocks, in different sizes and arrangements.

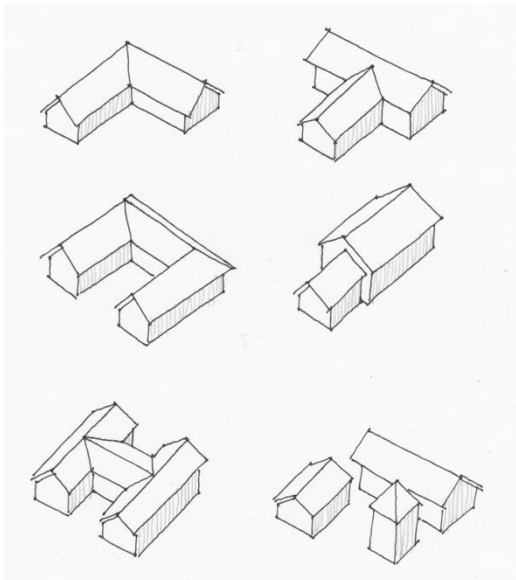


*-The approved traditional styles for the Preserve are composed of simple boxes with equally simple roofs, logical combined together.*

This is the basic building block of traditional house forms, because this is how a roof is logically and efficiently constructed over the rectangular rooms that—combined together—make up floor plans.

### Logical combinations of the basic building blocks

The illustrations in this manual, and the diagrams below, show many examples of how these individual roofed boxes are logically combined. The main forms can intersect at right angles, forming an L, T, H or U. They can be aligned in parallel, usually connecting on their ends, not sides (two pitched roofs aligned on their sides

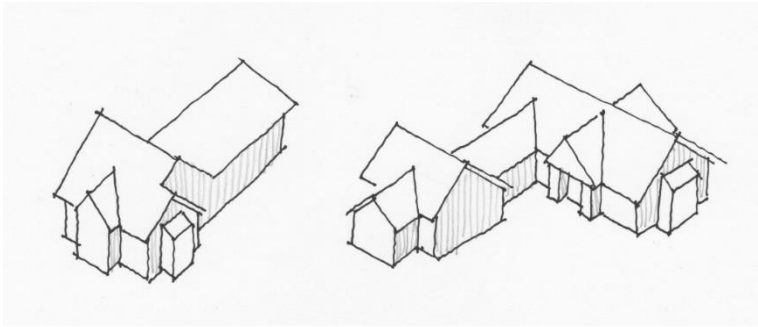


*-Examples of how the simple roofed boxes can be combined to create house plans for varying functional needs and visual preferences.*

*These are only a few samples of the combinatorial possibilities. You should look at the house forms you admire, to see how they are composed.*

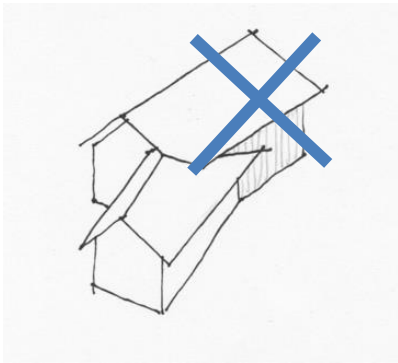
create difficult valleys for drainage). They can stand as separate pavilions grouped around a courtyard, and perhaps linked with smaller connecting elements.

Secondary forms like bay windows or bump-outs for the plan will almost always intersect at right angles with the main form to which it is attached.



*-Even the most complex house forms are composed of these individual building blocks.*

The forms should intersect logically, so each element keeps its own integrity and is not arbitrarily chopped off. A viewer should be able to see each individual element as a basic, complete entity, and see how they combine like building blocks.



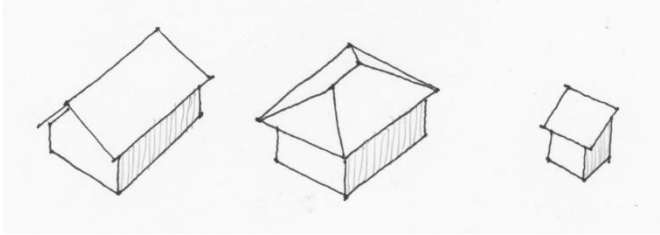
*-An example of unacceptable combination, with crashing forms cutting off pieces of each other.*

## Roof forms are consistent with the approved styles

Roof forms in all the Northwest Traditional Style sub-styles have the following characteristics, which must be followed.

### **Allowable roof types**

The main roofs are always gables or hips, while secondary roofs over smaller, secondary rectangles like porches, entrances, bay windows or dormers can be shed roofs. No other roof forms are allowed, for example: Dutch gable, mansard, gambrel, butterfly or saltbox.



-Acceptable roof forms in the Preserve.

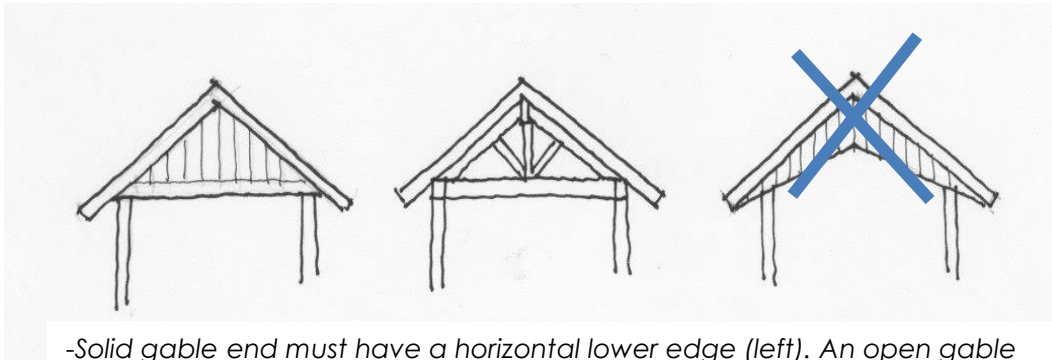
Left: Gable.

Middle: Hip.

Right: Shed for small accent roofs only.

### **Allowable gable ends**

Gable ends cannot expose the shape of a scissors truss behind. The gable must be a true gable with a straight horizontal lower edge. If the design requires openings within the gable, for example for glazing in the gable with a cathedral ceiling behind, or the open end of a deck with a cathedral soffit above, the framing must use traditional trusses composed of timbers at least 6" thick in the minor direction.



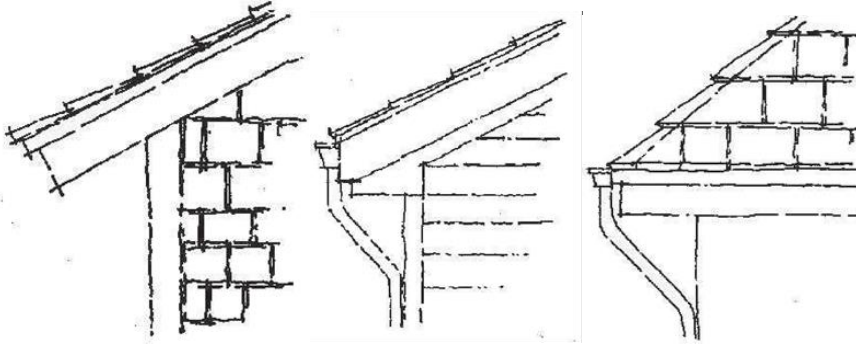
-Solid gable end must have a horizontal lower edge (left). An open gable end must be a traditional large member truss (middle). Not allowed is an exposed manufactured scissors truss (right).

### **Allowable roof pitches**

The main roofs must range between 4:12 to 8:12; secondary roofs can be as steep as 12:12, while a shed roof can reduce to 3:12 when it is a small, mostly decorative, detail.

### **Allowable overhangs**

Roof overhangs must be at least 12".



### **Main mass is heart of the house, entrance nearby**

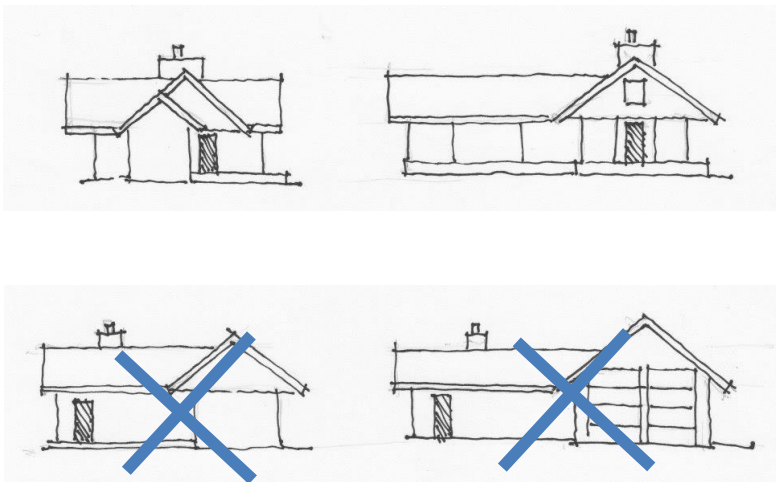
The Preserve's required architectural styles always locate the main rooms in the highest or most prominent mass. The entrance door is always at or near this most prominent mass.

#### ***Creates the heart of the home***

The main mass always contains the biggest, most important spaces like the living room, dining room and kitchen. And the main entrance always leads to these main rooms. Keeping these at the middle make them visually the center or heart of the home. Also, the larger roof over the main mass will convey a deeply satisfying feeling of a large hat sitting over the core of the home, protecting it from the elements. The power of this arrangement is one of the significant reasons why it always organizes traditional house forms.

#### ***Main mass must be core living spaces, not garages***

The heart of the home indicated by the most prominent mass must be the core living spaces of the home, not secondary service functions like a garage. Otherwise, the house will look like a commercial garage with a smaller apartment attached. This is not compatible with the rural, domestic character required for the Preserve.



-Main mass can be at the center (top left) or offset (top right). The entrance is in or near the main mass.

Not recommended is an entrance far away from the main mass (lower left).

Not allowed is the main mass used for secondary functions like garages (lower right).

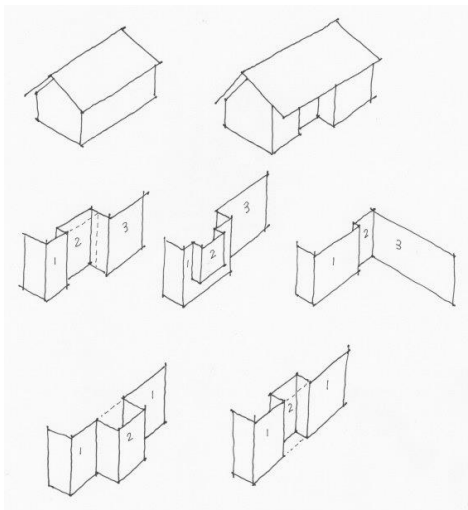
## Secondary masses and a variety of sidings reduce bulk

The rural, domestic character of the neighborhood can quickly lose its charm if the buildings are too bulky. Large, monolithic blocks, or long walls without any visual relief, create more of a feeling of commercial or industrial buildings.

Therefore, once the main massing is established as described above, secondary forms should be attached to reduce the bulk. These can be porches, decks, bay windows, and other projections which result from functional spaces in the plan, including dormers, smaller secondary rooms, etc.

### Required breaks in façades

The street façade must have at least three breaks, while the remaining facades must have at least two breaks.



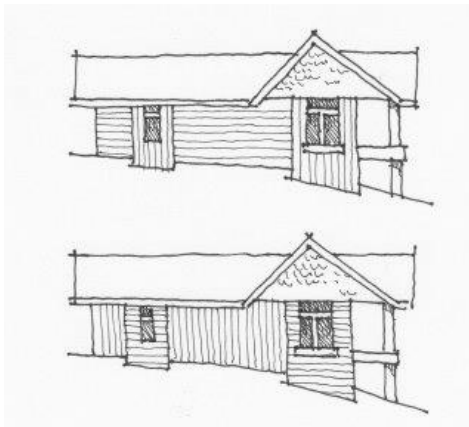
*Top left: Façade with no breaks is monolithic and visually boring. Top right: breaks in the façade give greater visual interest, and a more informal domestic character.*

*Middle left, center and right: These are examples of three breaks, because the walls are in three distinctly different planes.*

*Bottom left and right: even though the walls labeled (1) are separate, they are in the same plane and so do not count as a break. The wall labeled (2) stands in front of, or behind the wall labeled (1), making these facades with two breaks.*

### Required variety in siding

A building can also look bulky if all the siding is uniformly the same. Secondary masses might change up the type of siding for a visual break. For example, the



*Change the siding direction or type (board and batten, channel groove, shingles, etc.) at logical changes in the massing of the building.*

*Top: If the mass is long and low, horizontal siding will make this feel even longer; vertical siding will emphasize a vertical massing.*

*Bottom: running the direction of the siding against the direction of the massing will de-emphasize the direction of the massing.*

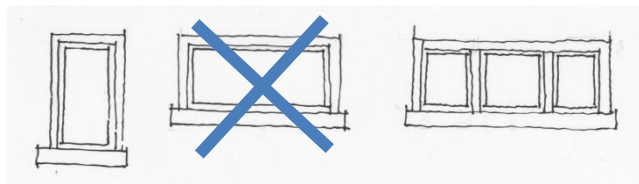
main siding might be channel groove or board and batten, while the siding on secondary masses might be vertical tongue and groove. To avoid looking “bitty” and arbitrary, the siding changeups should happen on secondary masses, not just as random patches on the main masses. For more dramatic emphasis, the direction of the siding should reinforce the main direction of the form, for example, horizontal on long facades, vertical on narrower, more vertical secondary masses.

## Windows and doors are appropriately oriented and sized

To maintain the domestic, rural character of the neighborhood, the buildings cannot look too bulky or institutional, as discussed above. One of the remedies to avoid the above is the consistent use of windows and doors that are carefully proportioned, sized, and aligned in accordance with the chosen approved traditional style to create the right image.

### Required vertical window orientation

All windows in the styles acceptable for the Preserve are more vertical than horizontal. Windows longer than they are high belong to modernist styles like International or Mid-Century Modern, which are not allowed. If a horizontal window is needed for internal functions reasons, like above cabinets, then the window should be composed of several vertically oriented—or at most, square—windows sitting next to each other.



*-Windows must have a vertical orientation (left).*

*Horizontal window orientation not allowed (middle).*

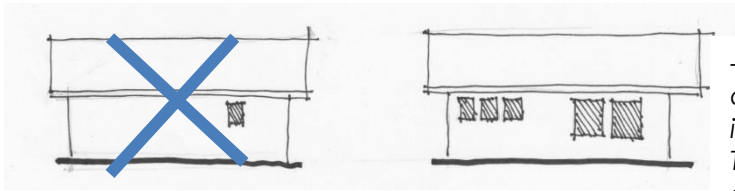
*If horizontal windows needed for functional reasons inside, break it up into several vertical or at most square windows (right).*

### Required window sizing

Large, unrelieved wall planes create an undesirable institutional character. An earlier section discussed how breaking up the planes is one way to avoid this.

An additional way to avoid this is to have enough windows in number and/or size in any wall plane to visually break it up. The MBPDRC may ask for additional windows, or larger windows, to meet this requirement.



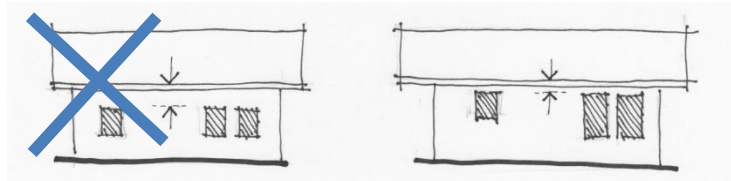


-Too few or too small windows create an unacceptable, large institutional looking façade (left). This problem is solved with more and/or larger windows (right).

Windows and doors must be arranged so that heads come up close to the top of the wall, fascia, or soffit. The following are minimum header heights for different sized walls:

- 8'-0" plate: 6'-8" header height
- 9'-0" plate: 8'-0" header height
- 10'-0" plate: 8'-0" header height

Windowsill heights will vary with design and function. Sills should be as low as functions will permit.



-Unacceptable windows too far below the line of the fascia; this creates institutional feeling (left).

-Window heads close to the fascia help create a domestic feeling (right).

### **Allowable garage door sizes and number**

To avoid an institutional character, the size and number of garage doors needs to be carefully considered with the following requirements in mind:

The maximum garage door height at the front elevation shall be nine feet (9'-0").

Minimum 2- car garages are required for all homes.

The garage wing can have a maximum of a double bay in any one surface. Additional bays must be offset by a minimum of 2 feet (2'-0").

For 3 or 4 car garages, no more than two double, or a double and a single, or three single garage doors may exist on the same plane.

Split and/or separate garage doors are encouraged.

All garages must be fully enclosed, carports (for the purpose of permanent parking) are prohibited, however, porte-cocheres are permitted.

Rear, three/four-car tandem, split design or subterranean garages are permitted.

## Points of special interest are embellished with detail

All the acceptable styles included within the general banner of the Northwest Traditional Style embellish certain special points of interest to give character and style to the building. This is required for all buildings in the Preserve.

These points include the entrance, porches and decks, gable ends, windows, and doors, and supports to roof overhangs.

### **Consistent with style**

Points of special interest are given emphasis by several means including distinctive materials, colors, and expressed construction details. Exactly how this is done depends upon the style you have chosen. Indeed, it is through these very details that the style is most expressed. Keep in mind that your embellished details must be consistent with the overall style.

### **Examples of embellishment**

- Prominent wood columns
- Exposed heavy wood traditional trusses
- Knee braces at columns and cantilevered elements
- Wood corbels
- Exposed beam and rafter ends
- Gable ends with material and color different from main siding
- Wainscoting with transitioning material changes
- Chimneys in stone, brick, stucco, and siding
- Trellises
- Deck railings
- Frieze boards
- Roof dormer vents
- Louvered vents in gable ends
- Lighting fixtures
- Gutters and downspouts in special materials or colors
- Quoins in brick, stone, and combinations of the two
- Finials, weathervanes, etc.
- Keystones
- Wood shutters

### **Hierarchy of elements**

There is usually a hierarchy within each class of elements. The front door will be given more emphasis than the other doors; a prominent bay window will be given more emphasis than the other windows; a gable at the center of the composition will be given more emphasis than other gables.

### **Minimum sizes for columns and piers**

In any areas of special treatment consisting of open framing, like porches or decks, the construction must feel substantial. Columns supporting decks, roofs over decks, or roofs over porches must LOOK like they can comfortably support not only the weight of the structure, but also the weight of a heavy snow. Masonry piers must be a minimum of 1'-6" on the narrow side, while wood columns must be at least 8" on the narrow side. Typically, these are also opportunities for embellished construction like knee braces, decorated joist ends, etc.



**Requirements for porches and entrances**

Porches must be a minimum of 7'-0" deep. Entrance forms must be a minimum of 6'-0" deep, and a maximum of 1 ½ stories tall. Sidelights and transoms are encouraged at the front door.

Columns of wood, brick and stone are encouraged, proportionate with the scale of the entry.

Side and/or rear porch decks may be screened or glazed.

**Allowable railings**

Although the approved traditional styles typically use wooden railings on elevated elements like decks, these are not ideal when a homesite has one of the spectacular views to the lake or mountains. Therefore, cable railings and transparent railings are acceptable. However, to keep these from feeling too Modernist, they must be capped with a substantial railing in a material and color consistent with trim elsewhere in the design.

(Heavy or ornate wrought iron rails are not permitted.)

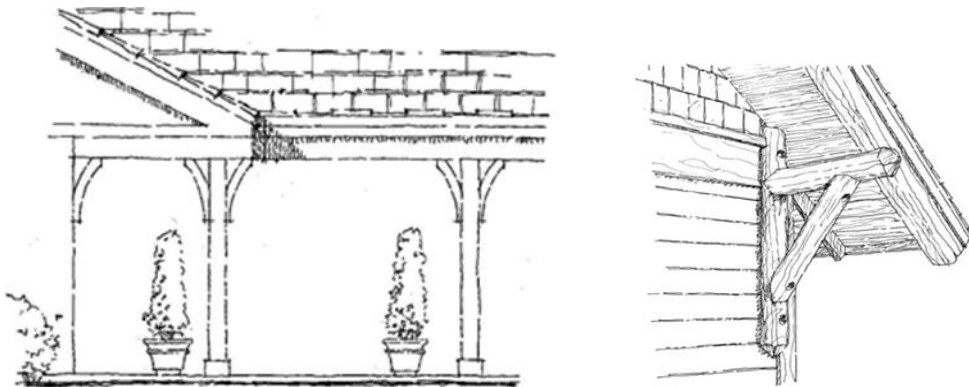
**Required window and door trim**

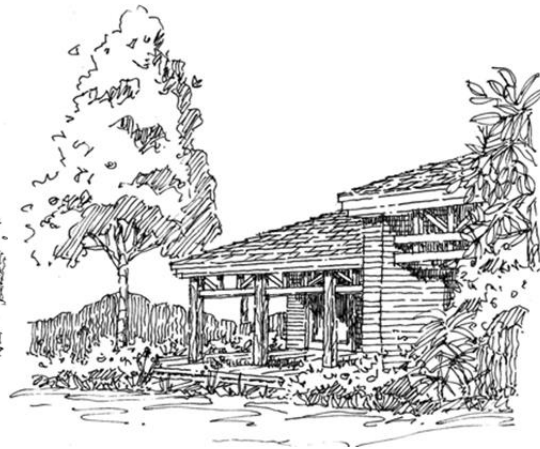
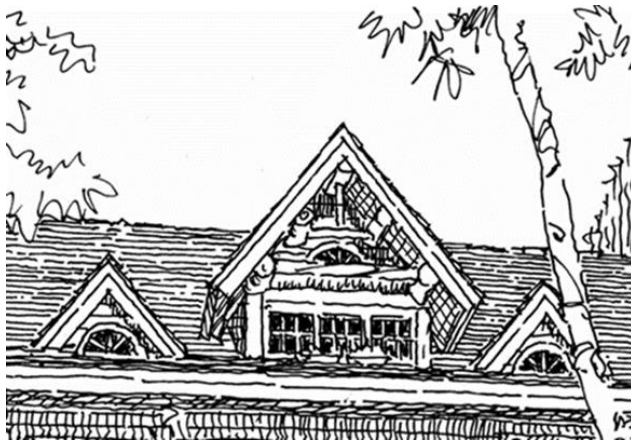
The acceptable styles in the Preserve always emphasize the trim around windows and doors. This helps break down the building's bulkiness and distinguishes the building from a Modernist style that tries to minimize detail and embellishment. Trim must be a different color from the siding, and it must stand forward from the siding at least ½" and be at least 2" wide.

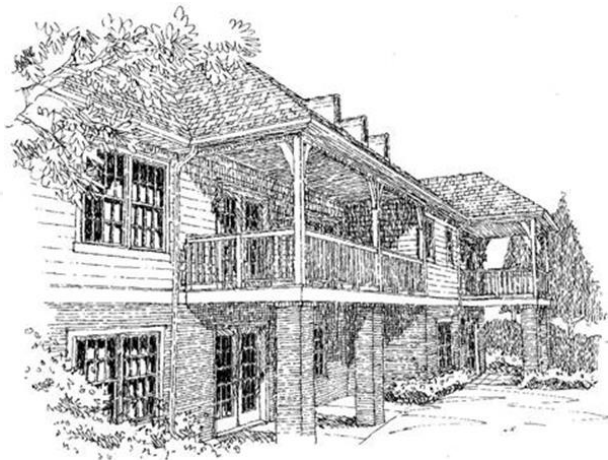
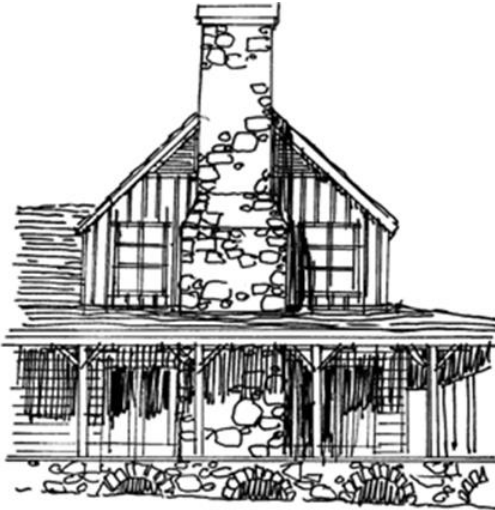
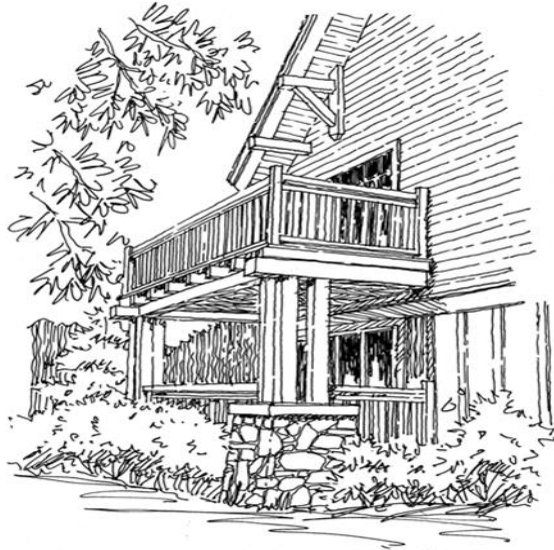
Traditional styles typically give a wider trim to the bottoms of windows, creating a pleasing balance proportion. (Example: think how matt board in framed art is always wider at the bottom than the sides).

**Additional window and door embellishments**

Windows and doors are traditionally great places for additional embellishments. These might include window boxes or shelves, bowed or angled bays, shutters, divided lights and/or transoms and mullions. These should all be done consistent with your chosen style.

**(Embellishment illustrations)**





### **Parts relate to each other harmoniously.**

Successful designs in one of the approved styles for the Preserve have a satisfying visual harmony among their parts. The parts feel like they relate to each other, belonging to one unified composition. There are several ways to accomplish this, including:

#### ***Repetition of the same or similar distinctive elements***

This might be something like several gables or dormers, or a series of windows in the same proportion and size, or a row of columns along the front façade.

#### ***Roof pitches the same except for prominent locations.***

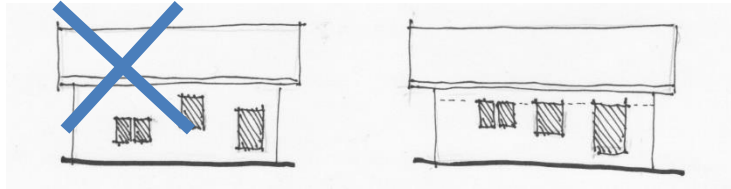
This gives an underlying harmony to the design. In contrast, the more the pitches vary, the more the design feels like disconnected parts. If a pitch is to vary from the

norm, it should be at a prominent place like an entry because it will call attention to itself.

### **Elements are visually aligned to each other**

Even when parts are dissimilar in shape or size, they can still feel like they belong together by visually aligning their tops or bottoms. Sometimes a horizontal piece of trim can visually link things together.

If any parts like windows in a wall feel like they are “swimming around” and disconnected to any other parts, or if it feels like there are many different elements unrelated to each other, the design still needs work in this area.



*Elements swimming around, not visually related to each other (left).*

*Elements are aligned with each other, connecting them together into a harmonious whole (right).*

## **Accessory buildings**

One accessory building is permitted on any home site. All structures must meet the required setbacks and be within the building envelope.

Structure must maintain a one-story profile.

Structure uses include storage facility or detached garage.

Structure may stand alone or connect to the main house by a breezeway or walled-in porch.

The forms, materials, construction, and colors must reflect the selected architectural style of the house.

## **Materials**

Building materials are an important element in maintaining the overall community character of Mission Bay Preserve. The imaginative use of materials can be combined to create unique designs and distinctive individual identity to each home.

Additional materials may be permitted but are subject to review and approval by the MBPDRC as described in Section V, Design Review & Approval Process.

A combination of materials and/or finishes is encouraged. To ensure the general character of Mission Bay Preserve, earth tones, natural finishes and off-white colors are the most appropriate.



## Exterior Wall Surfaces

Appropriate Materials include:

- Native stone such as sandstone, limestone, granite, and flagstone are permitted, alternative stone selections will be subject to MBPDRC approval (simulated, faux or stucco stone is permitted)
- Stucco is permitted, finishes and treatments; smooth sand, light hand troweled and light dash coat (staging marks between coats of stucco, due to scaffolding and construction techniques must be avoided and should be cause for field rejection)
- Wood and wood composite
- Wood fascia, rakes, frieze, and trim
- Exposed wood timbers & logs
- Pre-cast concrete or carved stone lintels and border stones (limited use primarily at entries)
- Wood shingle wall materials
- Simulated wood decking
- Brick accents

Inappropriate Materials include:

- Exposed concrete
- Vinyl
- Steel or aluminum
- Color-Lock
- Reflective finishes such as mirrored glass
- Laced (Spanish and adobe stucco finishes)
- Natural finish pressure treated wood such as columns, deck surfaces and railings, etc. (must be stained or painted)

## Roof Materials and Treatments

Appropriate Materials include:

- Asphalt (25-year min.), slate and concrete flat tile shingles
- Monochromatic roof shingles are not permitted, combinations of earth tones to gray tones are preferred
- Flat or minimum sheen Steel (Brand, gauge, and color subject to MBPDRC approval)
- Use of copper, terne, zinc, etc. will be allowed as accents (bay/bow widows, porticos, finials), however, they are subject to approval by the MBPDRC

Inappropriate Materials include:

- Flat roofs except at covered porches and entry porticos
- "S" tile
- All other roofing materials not mentioned are prohibited

Flashing:

- All flashing and sheet metal must be colored to match adjacent material

## Windows, Doors, and Garage Doors

- Wood windows, painted aluminum, and vinyl are permitted
- Natural aluminum is prohibited
- All tilted glazing will be subject to the approval of the MBPDRC
- Wood tilt-up, barn style and sectional roll-up garage doors are permitted
- Garage door colors should blend into the overall color scheme to de-emphasize the prominence of the door
- No predominantly glass garage doors, plexi-glass or other materials that suggest a mid-century modern style.

## Paving Materials (Sidewalks and driveways)

Appropriate Materials include:

- Natural stone (including but not limited to; sandstone, limestone, and slate)
- Flagstone
- Exposed aggregate (natural stone color)
- Natural stone unit pavers
- Colored concrete reviewed and approved by MBPDRC
- Stamped concrete (natural stone color)
- Concrete
- Fired clay pavers
- Pre-cast concrete pavers
- Interlocking concrete paver
- Asphalt

## Chimneys

- Brick, stone, stucco, and siding and in combinations are acceptable.
- Exposed metal flues are not acceptable, except as the last few feet on top of chimney built of acceptable materials listed above. Flues should be painted or colored to match the adjacent roof or wall materials and be nonreflective
- Caps must be painted to complement the home.

## Skylights

Appropriate Materials include;

- Designed as an integral part of the roof.
- Glazing must be clear, solar bronze.
- Framing material must be bronze or color to match the roof

Inappropriate Materials include:

- Reflective glazing
- Natural aluminum framing

## Fencing and Patio Walls

- Within the further restrictions on fences and patios discussed in the Section "Site Uses & Elements", fences and patio walls are to be compatible with the materials, color & style of the home to which they are attached.

## Vents

- All vent stacks and pipes must be colored to match the adjacent roof or wall material
- Vent stacks should be grouped on the side or rear of the roof when possible
- Vents should not extend above the ridge line.

## Antennas

- Homeowners may not install, or cause to be installed, any television, radio or citizen band (CB) antenna, satellite dish larger than 24", or other electronic receiving or broadcasting device on the exterior of any house or structure, exceptions are to be made on a case-by-case basis by the MBPDRC
- Ground or structure mounted satellite dishes must be appropriately screened subject to the review of the MBPDRC
- Any such installation must be in compliance with all applicable ordinances,
- It is recommended that all homes be pre-wired for cable TV reception

## Solar

- Solar panels are to be integrated into the roof design, with the same roof slope paralleling the roof and mounted directly to the roof surface.
- Panels and frames must be bronze anodized or match the roof color.
- Natural aluminum frames are prohibited.
- Solar equipment such as pumps, tanks, etc., are to be screened from the view of adjacent lots and public streets.
- Solar panels integrated into the actual roof shingle are allowed upon review of the actual sample.
- All Solar applications must be approved by the MBPDRC.

## Colors

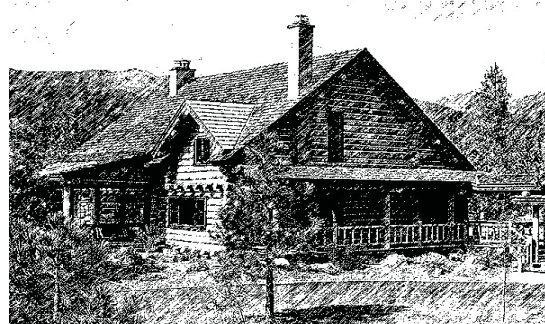
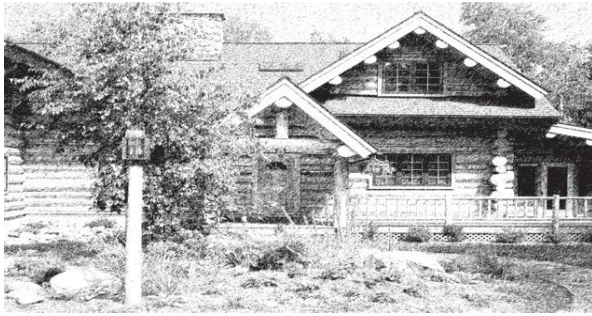
Color acts as a theme-conveying element reflective of the Mission Bay Preserve style. Subdued colors earthy in nature, blend naturally with the rural/suburban setting and should be used as predominant colors throughout the community.

The principal colors chosen for the home should blend with the natural landscape of Mission Bay Preserve. Therefore, pure white and black, or primary colors are not allowed. Muted earth tones should be considered for the majority of the structure. Accents in black, white or primary colors will be considered on a case-by-case basis.

All body and accent colors must be approved by the MBPDRC as part of the review and approval process.

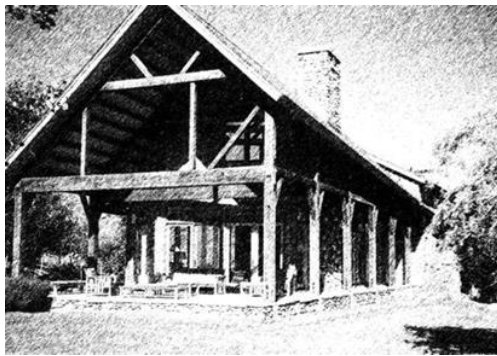


## Gallery of Northwest Traditional Style design









## IV. LANDSCAPE DESIGN

### Landscape Design Requirements

The Preserve neighborhood enjoys a spectacular natural setting, from the sweeping views from the ridge overlooking the meadow, to the wetlands and the lake below. The neighborhood was carefully laid out to preserve and enhance this rural character with gently curving roads and generous lot sizes physically staggered to ensure each home's view of the lake.

The overall aim in the Preserve is to create a harmonious blending of home and landscape design with this natural landscape, keeping in mind the spectacular views and rural, natural personality of the neighborhood. The objective is to not look like a typical suburban development which disrupts the natural contours, separates the land into visually individual and identifiable lots, and is surrounded by fences that highlight the stylistic differences among the houses.

The architectural design requirements above have already explained how this character is maintained by fitting the buildings to the natural contours of the land, by restricting their heights, by keeping them out of the viewsheds of the buildings behind as much as possible, and by harmonizing their character with a limited pallet of traditional rural styles. The following explain the landscape design requirements needed to help maintain this rural character.

#### Maintaining the natural flow of the land

Each lot must be landscaped to preserve the natural and visual flow of the land across individual lots. This means that the landscaping of one lot must be coordinated with the landscaping of adjacent lots to minimize visual breaks between them. The property line between adjacent lots should be obscured, or at least softened, by the landscape treatment.

For this reason, fences or prominent edging at the property line are not allowed. Further, the landscape surfaces on one lot should continue as much as possible into the adjacent lot, for example turf continues into turf, or rock planting areas continue into rock planting areas.

Trees and shrubs should not be lined up parallel to the property line, but staggered or grouped into a more organic, natural cluster. Neighboring properties might consider grouping some of their trees with existing clusters at

the adjacent property.

The overall landscape plan should aim to mimic the growth patterns of trees and shrubs in natural, uncultivated areas. This means not lining up trees or shrubs in geometrical patterns, rather arranging them in natural clumps with occasional free-standing trees. Under no circumstances can trees be aligned in “windbreak” rows.

## **Preserving views for neighbors**

The lots are staggered wherever possible to provide viewsheds to the lake for houses behind. The architectural design requirements help protect these viewsheds by restricting heights and setting houses back from the property lines. The landscape design requirements protect similarly by controlling the sizes and locations of trees and shrubs.

One of the first steps in a landscape design is to identify the viewshed of the homesite(s) behind and adjacent to your own. By doing this early on, a landscape plan can be more easily designed and constructed to keep tall trees or shrubs out of the viewsheds. Often, this will mean planting lower shrubs or low growing ornamental trees in the viewshed and keeping taller trees further away into your property. Under no circumstances should plantings grow taller than 22' at maturity in the viewsheds of your neighbors. Trees outside the viewsheds of any neighbors can be taller and up to 40'. Be aware also that trees planted in a “wind row” or “shelter belt” configuration is not allowed in the Preserve. The MBPDRC requires that the Owner identifies and indicates all view sheds on proposed landscape designs as part of the submission requirements for review by the MBPDRC.

## **Creating a residential street front**

Special attention should be given to the landscaping facing the street. The aim is to create an overall streetscape of attractive residential faces, with the landscape anchoring the house to the land, softening the visual transition of horizontal land to vertical building. The landscape at the front should also create a more cultivated landscape in contrast to the natural, uncultivated grasses in the undeveloped parts of the Preserve.

There must be some amount of cultivated turf between the street and the house. This turf area can then be supplemented with attractive touches like a band of planting beds between the street and the turf, and between the turf and the front façade of the house.

Attractive landscape design typically layers the plantings to create visual

interest and depth, putting lower shrubs in front of higher ones, and lighter ones in front of darker ones. The shape and color of the plantings should complement the design of the structure, for example framing the view to the entry, or grouping under windows. Many plantings change colors at different times of the year, and this should be considered during the design phase to keep a pleasing landscape appearance throughout the year.

## **Planting beds, turf, and natural grasses**

America has long viewed an ideal domestic landscape plan as a luscious, green lawn sweeping up to the home. Consequently, the Preserve originally required large turf areas on each lot. But as the price of water escalated, and we all become more aware of conserving our natural resources, the design guidelines were revised in recent years to reduce the turf requirement. Escalating costs of lawn maintenance and even availability of landscape services in recent years have further reinforced the relaxation of turf requirements.

In this latest evolution of the landscape planting requirements, there is no longer a specified percentage of turf to planting beds and natural grasses relative to the size of the lot. Each design will be reviewed on a case-by-case basis looking to see if the balance of turf, planting beds and natural grasses creates a pleasing landscape relative to the size of the lot, the location and design of the home, and the adjacent landscaping treatments.

To be considered are the following:

1. Does the landscape create a residential street front as described in the previous section, with a meaningful amount of turf relative to the planting beds next to the street or the house?
2. Are the planting beds large enough to allow meaningful layering of shrubs and plants, as explained in the previous section?
3. Are the planting beds strategically located to help emphasize the design of the building?
4. Do planting beds contain enough shrubs, flowers ornamental grasses or ornamental large rocks not to feel like an unrelieved sea of gravel or wood chips?
5. Do plantings help screen unattractive elements like air conditioning units, meters, hot tubs, etc.?
6. Does the landscape surface material align with similar materials on adjacent lots?



7. A good rule of thumb is to allow 20-50% of the area immediately surrounding the residence be allocated for shrubs and planting areas, while leaving the remainder for turf.

Approved non-vegetative ground cover in shrub areas includes decorative landscape bark, non-white, non-reflective decorative landscape rock and lava rock. All large areas of ground cover are recommended to be rock. All bark applications require specific approval from the MBPDRC. Wherever non-vegetative ground cover is used, weed mat or an approved pre-emergent must be used. All non-vegetative ground cover treatments are subject to DRC approval.

Consider the increasing danger of fire in recent years. Keeping non-combustible materials next to the structure is beginning to be a prudent safeguard. Also, the quality of synthetic turf is now sufficiently high that it can be considered for use in the Preserve. The DRC will need to see a sample, and photos of applications in other homes before deciding if it will be allowed in any individual circumstances.

### **Allowable species of trees and planting materials**

The Preserve Design Manual has traditionally listed all known trees and planting materials as allowable, however these lists were so extensive that they provided little guidance or even reasoning for their inclusion.

Now the requirement simply allows any plant material that is native or historically successful in the Northwestern Montana landscape. Any plantings introduced must also be noninvasive. This requirement not only maintains the natural appearance of our landscape, but also helps ensure that the species are compatible with our climate and geographical setting.

Something further to consider in the Preserve is our local herd of deer, and how they treat plantings. If you are not familiar with the planting species that thrive here, you are strongly advised to get the advice of landscape designers or nurseries in the area.

Allowable sizes and shapes of trees and planting materials have been discussed in previous sections.

### **Maintaining the public amenities**

Any fence, landscaping and drainage swale along the neighborhood streets that has been provided by the developer must be maintained. Culverts must be provided if a driveway or other landscape element disturbs the existing drainage swale.



## Specific Neighborhood Requirements

### The Ridge

In The Ridge, the entire lot is considered one landscaping zone except for the "200 series" home sites. These sites contain areas on the hillside above Red Tail Road, while private, are designated for common landscaping, irrigation, and maintenance.

Minimum Landscape Requirements:

- Eight primary shade trees (1 ½ inch min. caliper)
- Eight shrubs

### The Meadows

The visual foundation of this distinctive neighborhood is the integration of traditional landscaping around building envelopes with large areas of open space separating homes. Sites in the Meadows are divided into three zones: A Residential Zone, a Setback Zone, and a Transition Zone.

#### **The Residential Zone**

The Residential zone comprises the traditional front, side and rear yard around the home, and encompasses an area thirty feet (30'-0") out from the home in each direction.

Minimum Landscape Requirements:

- Eight primary shade trees (1 ½ inch min. caliper)
- Eight shrubs

#### **The Setback Zone**

The Setback Zone is defined as the area around the outside edge of the home sites between the exterior property boundaries and the building setback lines. In the area where home sites front along streets, the Setback Zone extends to the street.

Any ground cover not in planting beds, including grasses, fescues, wildflower pasture mixes, etc. must be mowed periodically to a maximum height of 12 inches.

The only landscaping restriction in the Setback zone is that trees are limited to a maximum height of twenty feet (20'-0") at maturity.

In some cases, depending on the location of the home within the building envelope, the Residential Zone may overlap the Setback Zone. Should this occur, the tree height restriction in the Setback Zone still applies.

#### **The Transition Zone**

The transition Zone makes up the balance of each home site not included in the Residential or Setback Zones.

Any ground cover not in planting beds, including grasses, fescues, wildflower pasture mixes, etc., must be mowed periodically to a maximum height of 12 inches.

---

## Site Preparation & Grading Standards

### Site Grading

Site grading should conform to the existing topography to preserve the natural character of the area and to maintain the delicate system of natural drainage patterns and wetlands. Additional on-site grading should maintain the natural existing form of the terrain. Grading should produce graceful contours, rather than sharp angles by providing transition at the top and toe of slopes.

### Finish Grading

Water must be applied as necessary during site grading to provide optimum moisture content to the soil. Planting areas are not to be graded when their moisture content is so great that excessive compacting occurs, or so little that dust is formed, and dirt clods do not break up.

Final grading of planting areas shall include light rolling, raking and hand work. This is necessary to achieve the desired contour and flow line patterns, and to ensure evenly finished surfaces with proper drainage.

### Import & Export

Property owners are encouraged to retain a civil engineer to calculate excavation requirements for their property. A balanced cut and fill on each property is highly recommended. In the event that soil must be imported or exported from the property, the property owner will be responsible for this cost. Imported soils scheduled for use as landscape topsoil may be subject to an agricultural soil analysis at the discretion of the MBPDRC. Should the MBPDRC determine that specific sites will require fill, property owners and builders will be notified of this need and be permitted to deposit clean fill at appropriate locations.

### Surface Drainage

The surface drainage system shall consist primarily of on-grade pervious systems. Hardscape materials are permitted when no other options are available. Drainage of individual properties must work with the existing topography and be directed toward the natural open space or drainage swale systems, developed in conjunction with the roadways.

Adequate provision must be made to prevent any surface water from damaging public or private property, or to excavations and fill slopes, both during and after construction.

Property owners should consult with the city of Polson to determine city requirements on storm water management. In the event of any inconsistency between this Manual and the city of Polson, the city rules and regulations regarding storm water management shall control.

### Retaining Walls

In some instances, it may be necessary to provide retaining structures to protect roadways and other graded areas. Such retaining structures should have a natural appearance using natural materials such as stone, etc., whenever possible. The

planned installation of retaining walls must be submitted for the approval of the Design Review Committee prior to any earth moving or construction.

## Erosion Control

Temporary and permanent erosion control measures are intended to prevent the erosion of soil at Mission Bay Preserve. The placement of barriers such as erosion fabric fences, straw bales, or curb-like diversions along the perimeter of construction areas are considered temporary measures to prevent excessive run-off.

Run-off from construction areas must be directed away from any sensitive natural areas. Permanent measures include the use of plant material to hold soil in place and the proper grading of the site. Drainage facilities shall use natural systems wherever possible. Pervious surfaces rather than hard surfaces, are encouraged to promote ground percolation.

## Driveways

Each property owner shall be responsible to extend their driveway to the edge of street pavement. All accepted driveway materials are referenced in Section III.

The minimum driveway width is twelve feet (12'-0") and a maximum width is twenty feet (20'-0") to the point where the driveway flares to accommodate garage access.

Driveways should be curvilinear rather than linear to create a more interesting and varied streetscape.

## Construction Activity

**Construction activity of all types, including but not limited to grading, planting, boring and building, shall be limited to the hours between 7:00 AM and 6:00 PM, Monday through Saturday.** Activity on Sunday is strictly prohibited, except for unusual hardship cases. These will be reviewed on a case-by-case basis and approved by the MBPDRC. Written notification and approval are required from adjacent property owners for any proposed activity seven days in advance of the activity.

## Drainage Easements

Natural or existing drainage pathways are not to be obstructed. All site improvements must avoid or bridge such pathways without obstruction.

# Site Uses & Elements

## Obstruction of views

On the corner lot, within the area formed by the center lines of the intersecting or intercepting streets and a line joining points on such center lines at a distance of seventy-five feet (75'-0") from their intersection, there shall be no obstruction to vision between the height of three and one-half (3'-6") and a height of ten feet (10'-0") above the average grade of each street at the center line thereof. The requirements of this section shall not be construed to prohibit any necessary retaining wall.

## Residential Walls & Fences

Fences around the property are not allowed. Fences and/or short walls around patio areas are allowed, within the following guidelines.

- The design of fencing and walls must be carefully considered in the context of the rural setting. Fences and walls are most aesthetically pleasing when used in conjunction with plant materials and landscape techniques to reinforce the rural character.
- Perimeter fencing is only permitted where installed by the developer. The only approved perimeter fence is a "Split Rail" fence 4' in height with 6" posts and three 4" rails.

*Mission Bay Preserve fence*



- Patio wall/fences are permitted within the front, side, and rear yards. These "patio areas" must appear to be an extension of the home. The height of these elements is subject to the approval of the MBPDRC.
- Kennels must be screened from view from streets and neighbors, and construction and locations must be approved by MBPDRC. The maximum size is 10' x 10'. All other fencing for dog kennels is prohibited.
- Barbed wire or deterrent security devices are not permitted.
- Non-climbable wrought iron fencing is permitted only around spa areas and must be secured by a latch or lock attached to a self-closing childproof gate. All local codes and governing conditions must be adhered to.
- All private wall areas should be adequately landscaped to mitigate the negative visual impact of the fencing material.
- Walls and/or shrub planting screens are required around trash areas, mechanical equipment, and propane tanks.
- Walls located on sloping terrain may step or follow the grade, however, no portion of the footing or foundation may be exposed.
- Existing community fencing may not be altered without the review and written approval of the MBPDRC.

## Irrigation

Areas that feature landscaping, such as grass, trees, shrubs and/or ground cover, should utilize an individual irrigation system for watering during dry months. It is required that during fire season all areas are regularly watered and/or mowed. In order to conserve water, an individual irrigation system provides a more efficient use of water than hand sprinklers. Individual homeowner irrigation systems should:

- utilize sprinklers and nozzles that provide water most compatible with their respective soils, slopes, exposure, orientation, and plant types.
- employ an automatic control system.
- not throw water onto public roadways or neighboring homes or trail systems.

### **Spas/Hot tubs**

Spas/hot tubs are to be properly screened. Screening plans must be approved by the MBPDRC.

Spa/hot tub locations shall be subject to review and approval by the MBPDRC. Criteria for review shall include, but not be limited to site grading, fencing, view impact, night lighting and noise.

### **Decks & Patios**

All exterior decks and terraces should be within the property's building envelope and are subject to the MBPDRC's approval. Decks must be compatible with the terrain of the site. Expanses of deck or terrace must not create reflective glare to neighboring properties.

Decks and patios must be designed utilizing materials, textures, patterns, and other elements that are consistent with the home's architectural style. Pressure treated wood used for these elements must be painted or stained.

### **Patio Structures**

Patio structures, trellises and gazebos must be built within the building envelope as defined by the minimum setbacks of the property and are subject to the MBPDRC's approval. Patio structures must be consistent with the architectural expression of the residential structure and constructed of compatible materials.

### **Window Boxes and Raised Planting Beds**

Window boxes for natural perennial or annual flowers need prior review and approval from MBPDRC. Window box material and attachment to the residence needs to blend with the existing colors and materials on the residence. Plant species/materials need to be maintained just like a shrub bed or planting bed at ground level.

### **Playground Equipment**

All playground equipment, structures, etc., are subject to prior review and approval of the MBPDRC.

### **Mailboxes**

Individual mailboxes are not permitted. USPS approved mailbox clusters are provided.

### **Newspaper Boxes**

Colored plastic newspaper boxes on metal posts are not permitted. Newspaper receptacles, if desired, shall be incorporated into the driveway monuments, described later in this section.

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## **Yard Art and All Permanent and Semi-Permanent Property Features**

Yard Art and any semi-permanent or permanent feature or set of features, below or above ground, that visually affects the property, and/or is deemed to possess the potential to negatively impact the community, will be reviewed and either approved or rejected on a case-by-case basis.

### **Greenhouses**

Greenhouses will be reviewed and approved or rejected on a case-by-case basis.

### **Composting Bins**

Composting Bins are prohibited in Mission Bay Preserve.

### **Mechanical Equipment**

All air conditioning, heating equipment, mini splits, and generators must be screened from view and, if appropriate, be insulated for sound attenuation. Window or roof mounted air conditioning units are prohibited. All propane tanks must be buried.

## **Exterior Lighting Standards**

### ***Lighting Compliance***

Lighting fixtures shall be chosen to minimize the spread of light and prevent any spill-over onto adjacent properties. These lighting fixtures should follow "Dark Sky" protocols.

### ***Monument and house number lighting***

Each residence shall be required to have one primary light at or near the point where the driveway intersects the street. This lighting will be provided in one of two ways:

1. A single light on a post not to exceed six feet (6' 0") in height, or
2. A single light on an individual monument as described earlier in this section.

\*The lighting solution chosen in the above paragraph must illuminate the house number. See "Driveway Monuments", below for related information.

### ***Uplighting***

Up lighting is discouraged as it contributes to light pollution. The Mission Bay Preserve Community is dedicated to the protection of the natural landscape of this community and the enjoyment of both day and night views. Up lighting should be limited to monument and house number lighting, and only for the purpose of illuminating the house number sufficiently to read clearly at night.

### ***Installation and maintenance***

The primary light located at the street, and at least one other exterior light must operate on a light sensor so that the lights are activated at night even when the home is not occupied. It is the responsibility of the owner to replace these lights as needed.

If the lights need to be replaced during an owner's absence, it will be done by the Mission Bay Homeowners Association at the property owner's expense.

Lights will be hard-wired to the main house electrical panel. Solar activated lights or lights activated by motion detectors may be allowed upon approval by the MBPDRC. Only small footprint, down facing lights will be considered.

No Metal Halide or other "Farm" type area lights are allowed within the Community of Mission Bay Preserve.

## **Water and Electric Meters**

The appearance of electric meters should be minimized and appropriately screened with landscape plant materials or enclosed in cabinets that are a part of the primary residence architecture.

## **Clotheslines**

Outside clotheslines are not permitted within the Community of Mission Bay Preserve.

## **Pets**

All pets are to be contained within the owner's property or be leashed. No loose pets will be tolerated.

## **Underground Wiring**

All exterior wiring is to be installed underground. Appropriate attention must be paid to screening electric transformers and phone/cable TV pedestals from view with landscape elements while keeping these services accessible.

## **Signage**

The following sign information is intended to provide an initial framework to begin the design process. It outlines only the key features of the approved signage standards for Mission Bay Preserve. Please confer with the MBPDRC regarding further clarification of design intent.

### **Temporary Signs**

Temporary signs are prohibited on all properties. The exception being during construction, contractor and/or builder, landscaper and/or agents are permitted for the construction period and shall be removed at completion of construction.

### **Street Signs**

All street signage will be provided by the MBPHOA. Any modifications or relocation of street signs requires the prior written approval from the MBPDRC.

### **Special Event Signage**

See MBPHOA Rules.

### **Driveway Monuments**

All homes are required to have at least one street side driveway monument located at the point where the driveway intersects the property line nearest the street. This monument may be as simple as an oversize post, or a more elaborate entry gate monument designed and constructed of materials compatible with the exterior of the home and accessory buildings. Regardless of design, the driveway monument must incorporate a primary light and house numbers and address must be visible at all times.



Monument may include a newspaper receptacle if desired. All driveway monuments are subject to MBPDRC review and approval.

### **House Numbers**

Two house number/address signs are required per dwelling unit. One sign of no more than one square foot (1 SF) in area shall be located on either the garage or entry element of the house, whichever is the closest to the street. A second sign shall be incorporated into the driveway monument as described above, and adequately lighted to offer nighttime identification and visibility from the street or curb-side location. Surface mounted address number boxes that are back lighted shall be strictly prohibited. The MBPDRC encourages the use of bronze, copper or approved equal, for numerical identification of the home.

## V. FORMS AND CHECKLISTS

Application for Review New Construction  
Application for Review Post Primary Construction  
Schematic Design Submission Completeness Checklist  
Schematic Design Review Checklist  
Working Drawings Submission Completeness Checklist  
Working Drawings Review Checklist  
Notice of Completion  
MBPHOA Board Appeal Form

## MBPDRC Application for Review (New Construction)

### Ownership Data

Property Owner's Name: \_\_\_\_\_

Current Mailing Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

Telephone Numbers: Business / Day ( ) \_\_\_\_\_

Residence / Evening ( ) \_\_\_\_\_

Property number(s) of proposed construction \_\_\_\_\_

Address of site(s): \_\_\_\_\_

### Architect / Designer Information

Architect / Designer Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone Numbers: Business / Day ( ) \_\_\_\_\_

### Contractor / Builder Information

Contractor/Builder name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Business Phone: ( ) \_\_\_\_\_ Mobile: ( ) \_\_\_\_\_

Contractor License Number: \_\_\_\_\_

### Landscaper Information:

Contractor name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Business Phone: ( ) \_\_\_\_\_ Mobile: ( ) \_\_\_\_\_

Contractor License Number: \_\_\_\_\_

**Application Fee:** The Property Owner shall submit a non-refundable application fee of \$1,000.00, payable to MBPHOA at the time of Submittal No. 1.

**Compliance Deposit:** Upon approval of the Working Drawings Submission, the Property Owner shall submit a \$10,000.00 Deposit to the MBPHOA to (1) ensure strict compliance with the terms of the MBPDRC approval and the approved construction drawings and (2) provide security to MBPHOA for any damages caused to HOA property and infrastructure by the Property Owner, their contractors, subcontractors, or agents during construction. Please see Section II for a complete description of the requirements to begin construction,

Non-Compliance by the Property Owner shall result in the forfeiture of some or all of the Compliance Deposit. Further, the MBPHOA may employ any additional remedies allowed by law to ensure compliance, including specific performance

and the recovery of costs and attorney fees. The \$10,000 deposit will be held in escrow by the MBPHOA Manager until construction review and approval and landscaping review and approval is complete. See Section II, Notice of Completion.

Acknowledgement: As a Mission Bay Preserve lot owner intending to build, I/we have read and reviewed with my contractor, landscaper and/or agent, the current Mission Bay Preserve Design Guidelines, Covenants, Conditions and Restrictions and fully understand the requirements set forth as they pertain to this application. All work will be completed in conformance with the approved documents and application. I/we understand there may also be city penalties for non-compliance. Any change to any building or landscaping associated with this application shall be resubmitted to the Design Review Committee, and approval will be obtained prior to construction of any and all modified plans. Owner, Contractor, and Landscaper are all parties to this document, governed by the terms hereof, and all parties must attend the final review and submit this completed document.

The Owner, Contractor and Landscaper also agree that all construction activity will be limited to the hours of 7:00 am to 6:00 pm, Monday through Saturday; no construction work will be allowed on Sundays.

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Builder/Contractor Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Landscaper Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Home site Number: \_\_\_\_\_

Receipt of \$1,000 submittal fee: \_\_\_\_\_ Date received: \_\_\_\_\_

Compliance deposit received: \_\_\_\_\_ Date received: \_\_\_\_\_

Received By: \_\_\_\_\_

**MBPDRC Application for review, page 3****Home Program and Areas**

Architectural Style: \_\_\_\_\_

No. of Bedrooms: \_\_\_\_\_

No. of Baths: \_\_\_\_\_

Finished Area: \_\_\_\_\_

Garage Area: \_\_\_\_\_

Covered Deck/Porch Area: \_\_\_\_\_

Uncovered Deck/Porch Area: \_\_\_\_\_

Unfinished Area: \_\_\_\_\_

Patio Area: \_\_\_\_\_

\*Lot Coverage: \_\_\_\_\_

(\*% of total lot area)

## MBPDRC Application for Review (Post Primary Construction Projects)

### Ownership Data

Property Owner's Name: \_\_\_\_\_

Current Mailing Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

Telephone Numbers: Business / Day ( ) \_\_\_\_\_

Residence / Evening ( ) \_\_\_\_\_

Address of proposed improvements: \_\_\_\_\_

Improvement overview:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\*Please include drawings, plans and other pertinent information regarding this project for review by the MBPDRC.

### Architect / Designer Information

Architect / Designer Name \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone Numbers: Business / Day ( ) \_\_\_\_\_

### Contractor / Builder Information

Contractor/Builder name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Business Phone: ( ) \_\_\_\_\_ Mobile: ( ) \_\_\_\_\_

Contractor License Number: \_\_\_\_\_

### Landscaper Information:

Contractor name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Business Phone: ( ) \_\_\_\_\_ Mobile: ( ) \_\_\_\_\_

Contractor License Number: \_\_\_\_\_

House Number: \_\_\_\_\_

Receipt of \$\_\_\_\_\_ Compliance Deposit (as 5% of total estimated project cost)

Date received: \_\_\_\_\_

Received By: \_\_\_\_\_



## MBPDRC Schematic Design Submission Completeness Checklist

Owner:

Neighborhood:

Lot #:

Date Submitted:

Date Reviewed:

✓ **Complies; X does not comply; NA not applicable**

### 1. Plot Plan/Grading Plan:

- ☐ Min. Scale 1" = 10'-0"
- ☐ Shows Property lines accurately, including length, angles, and amount of curve.
- ☐ Shows all existing buildings, structures, walks, setbacks, sidewalks, slopes, and street right-of-way contiguous to the Property.
- ☐ Shows required building envelope setbacks. If lot is 202-212, it also shows the Green Space setback.
- ☐ Shows footprint and accurate locations of all proposed structures.
- ☐ Shows both existing and final contour lines, to indicate: 1) how the building sits on the ground (see "Siting, Massing, Scale and Proportion" in Section III), and 2) how site drainage will be managed. This includes any proposed retaining walls, and stormwater retention ponds required by the City of Polson.
- ☐ Shows the materials, color and height of all proposed retaining walls and patio walls. Heights should be noted in relation to adjacent ground elevations.
- ☐ If lot is 11-18 in The Ridge, shows the diagonal lines from the four corners of the lot, and the point and elevation of the natural grade at which they cross.
- ☐ If lot is 19-24 in The Ridge, shows the location at the center of the street from which the height limit is measured.
- ☐ Shows driveway, off street parking, and location of the monument house number sign.
- ☐ Summarizes the square footage of the first floor, second floor, garage, covered decks/porches and basement.

### 2. Landscape Plan:

- ☐ Min. Scale 1" = 10'-0"
- ☐ The plan shows the footprint of all buildings and include an overview of the types of trees, shrubs, walls, trellises, arbors, gazebos, drainage, grading, and mechanical equipment.
- ☐ Dotted lines indicate the viewsheds of homes or home sites behind you that cross your site.

- ☐ Each tree shows the maximum tree height at maturity.
- ☐ Projects in the Meadows show the three landscape zones.

### 3. Floor Plan:

- ☐ Min. Scale 1/4" = 1'-0"
- ☐ Indicates all walls, columns, openings, and any conditions or features that will affect the exterior design of the building.
- ☐ Scales accurately all items and parts of plans and details, including balconies, decks, atriums, garages, accessory buildings, and patio covers.
- ☐ Includes notes on all exterior items that cannot be clearly noted on the elevations.
- ☐ Shows the square footage of each floor, and the total living area.

### 4. Elevations:

- ☐ Min. Scale 1/4" = 1'-0"
- ☐ Provides exterior elevations to scale of all proposed buildings. All horizontal elevation points are shown on the elevations (i.e., ridge lines, balconies, terraces, etc.).
- ☐ Shows the existing and proposed final grades on all the faces of all elevations.
- ☐ Shows the maximum height information on the most appropriate elevation. For lots in the Ridge that are NOT 11-24, and all lots in the Meadows, this is diagram "A" in the Design Manual; For lots 11-18 in the Ridge this is diagram "B"; For lots 19-24 in the Ridge, this is diagram "C".
- ☐ For all lots in The Ridge and The Meadows whose height is restricted by the height of the elevation facing the street, the drawing shows a horizontal line across each elevation at the maximum height allowed, labeled "maximum building height."
- ☐ For lots 11-18 in The Ridge, the drawing shows a horizontal line across each elevation 26' above the natural grade at the crossing of the diagonals of the property lines, labeled "maximum building height."
- ☐ For lots 19-24 in The Ridge, the drawing shows a horizontal line across each elevation measured 18' above the center crown of Pheasant Ridge at the center of the property line. It also shows a line 28' parallel to the natural grade. These are labeled "maximum building height."
- ☐ All finish materials, colors and textures are identified on each element of the elevations.

### 5. Cross sections.

- ☐ Min. Scale 1/8" = 1'-0"
- ☐ Shows one longitudinal section and one cross section through the project, consistent with the plans and elevations.
- ☐ Shows the original and finish grades through each section carried out 20 feet past the building.

## MBPDRC Schematic Design Review Checklist

Owner:

Neighborhood:

Lot #:

Date Submitted:

Date Reviewed:

Approved to proceed to:

✓ **Complies; X does not comply; S Suggested change; NA Not applicable**

### Site Planning Requirements

#### Fitting the land

- ☐ Maximum site coverage is consistent with the rural character of Mission Bay Preserve (p. 24).
- ☐ Fits the natural contours of the land; no excessive cut and fill (p. 21).
- ☐ Driveways follow natural contours where possible, minimum 12'-0" width (p. 22); and driveways are a maximum of 20'-0" where they flair to meet garage, with curvilinear not straight forms (p. 53).

#### Setbacks

- ☐ Building setbacks (Meadows only) p. 22:
  1. All buildings and structures are set back 75' from the property line facing a street, and 100' from the rear property line. If a property line on the side adjoins another private lot, its setback is 30'. If the side property line adjoins a public space, its setback is 50'.
- ☐ Building setbacks (Ridge only) p. 22:
  1. All lots except 19-24 and 202-212: all buildings and structures are set back a minimum of 30' from the property line facing a road or roads, and 10' from the side property line. The rear setback is a minimum of 15'.
  2. Lots 202 through 212: buildings and structures are set back a minimum of 30' from the property line facing a road or roads, and 10' from the side property lines. Adheres to setback line established for green space area on the hill facing Red Tail Road.
  3. Lots 19 through 24: buildings and structures are set back a minimum of 30' from the property line facing a road or roads, and 20' from the side property lines. The rear setback meets the special requirement shown in the diagram in this section.

#### Grading and water management

- ☐ Site water management plan conforms to all other landscape design requirements (p. 22).
- ☐ Grading maintains the natural existing form of the terrain and has graceful contours without sharp edges at the top and toe of slopes (p. 52).

- ☐ Surface drainage consists of on-grade pervious systems, using hardscape when no other options are available (p. 52).
- ☐ Drainage works with existing topography, directed towards natural open space or drainage swale systems at the roadways (p. 52).
- ☐ Drainage system will not damage public or private property.

## Architectural Design Requirements

### Approved architectural style

- ☐ Complies with the permitted Northwest Traditional architectural styles (Great Camp Style; Mountain House; French Country; English Country; Prairie; Craftsman; Bungalow; Log; Ranch) (p. 26).

### Building Heights

- ☐ Maximum building height (Meadows p. 24):
  1. Lots 25, 27, 29, 32 and 34: Structure does not exceed 26' in height measured from the natural grade at the façade facing the street. This is a horizontal plane.
  2. Lots 24, 26, 28, 30, 31, and 33: Structure does not exceed 22' measured from the natural grade at the façade facing the street. This is a horizontal plane.
  3. Lots 35, 36 and 37: Structure does not exceed 28' measured from the natural grade at the façade facing the street. This is a horizontal plane.
- ☐ Maximum building height (Ridge, p. 24)
  1. For every site except for those listed in 2 and 3 below, no structure exceeds 28' in height measured from the natural grade at the façade facing the street. This is a horizontal plane.
  2. Lots 11-18: No structure exceeds 26' in height from a point on the natural grade at the crossing of diagonals from the four property corners. This is a horizontal plane.
  3. Lots 19-24: No structure exceeds 18' above elevation of the crown of Pheasant Ridge Road measured at the center of the homesite frontage. This is a horizontal plane. Additionally, no structure penetrates a plane 28' above undisturbed natural grade anywhere within the building envelope.

### Minimum Square Footage

- ☐ Minimum home square footage (Meadows): Minimum livable square footage is 2,000 sq. ft. (p. 25).
- ☐ Minimum home square footage (Ridge): Minimum home livable square footage is 1,600 sq. ft. (p. 25).

### Ratio of First to Second Floors

- ☐ A minimum of 65% square footage of the total is on the main floor, a maximum 35% on the second floor; in a walk-out basement design the floor with the main entrance is considered the main floor (p. 25).

### Massing

- ☐ Building appears to grow out of land (p. 27).
- ☐ Building appears to be one story at street side (p. 28).
- ☐ Second floor is contained within the roof (p. 28).
- ☐ Massing consists of rectangular roofed elements logically combined (p. 29).
- ☐ Main mass is heart of home, entrance nearby (p. 32).
- ☐ Main mass is core living spaces, not garages (p. 32).
- ☐ Street façade has at least three breaks in plane (p. 33).
- ☐ All other facades have at least two breaks in plane (p. 33).
- ☐ A variety in siding breaks up bulk, logically reinforces the building massing (p. 33).

### Roofs and gable ends

- ☐ Roof forms consistent with its approved style (p. 30).
- ☐ Main roofs are gables or hips; sheds are only used over secondary elements (p. 30).
- ☐ Gable ends are either true gables, or heavy traditional exposed trusses; no exposed scissors trusses (p. 31).
- ☐ Main roof pitches are between 4:1 and 8:12; secondary roofs are less than 12:12; shed roofs greater than 3:12 (p. 31).
- ☐ Roof overhangs are at least 12" (p. 31).

### Windows and Doors

- ☐ Windows have a vertical orientation (p. 34).
- ☐ Enough windows and doors—of sufficient size-- in each elevation to avoid institutional character (p. 34).
- ☐ Window and door heads are close enough to the fascia to avoid an institutional character (p. 34 and following).
- ☐ Windowsills are as low as function will permit (p. 34 and following).

### Garages

- ☐ Maximum garage door height is 9'-0" (p. 35).
- ☐ Minimum 2 car garage (p. 35).
- ☐ Maximum double bay garage in any one plane; additional bays set off by at least 2'-0" (p. 35).
- ☐ No more than two double, or a double and a single, or three single garage doors exist on the same plane (p. 35).
- ☐ Garages are fully enclosed, no carports; porte-cocheres permitted (p. 35).
- ☐ Rear, three/four are tandem, split design or subterranean garages permitted (p. 35).

### Embellishments

- ☐ Design has embellishments, and they are consistent with the approved style (p. 36).
- ☐ There is a hierarchy of embellishments related to the overall design (p. 36).

- ☐ Columns and piers look like they can carry heavy loads; masonry piers at least 1'-6" on narrow side, wood columns at least 8" on the narrow side (p. 36).
- ☐ Porches are a minimum 7'-0" deep, entrances a minimum of 6'-0" deep and maximum 1½ stories tall (p. 37).
- ☐ Sidelights and transoms encouraged at front door (p. 37)
- ☐ Railings are either traditional wooden railings, or cable railings or transparent railings if they have a substantial railing in a material and color consistent with trim elsewhere in the design (p. 37).
- ☐ Trim around windows and doors stands at least ½" from the siding, is at least 2" wide, is a different color from the siding, and is consistent with the chosen style (p. 37).
- ☐ Any additional window and door embellishments are consistent with the chosen style (p. 37).

### Harmony

- ☐ There is a repetition of same or similar design elements like gables and windows (p. 39).
- ☐ Roof pitches are the same except for prominent locations (p. 39)
- ☐ Elements are visually aligned to each other (p. 40).

### Accessory Buildings

- ☐ Only one accessory building, and it falls within the required setbacks and within the building envelope (p. 40).
- ☐ Accessory building is only one story tall (p. 40).
- ☐ The forms, materials, construction, and colors must reflect the selected architectural style of the house (p. 40).

### Materials

- ☐ Exterior wall surfaces are in the list of approved materials (p. 41).
- ☐ Roof materials are in the list of approved materials (p. 41).
- ☐ Windows, doors and garage doors are within the list of approved materials (p. 42).
- ☐ Paving materials are within the list of approved materials (p. 42).
- ☐ Chimneys are within the list of approved materials (p. 42).
- ☐ Skylights are within the list of approved materials (p. 42).
- ☐ Fences and patio walls are compatible with the materials, colors and style of the home to which they are attached (p. 43).
- ☐ Vents, Antennas, Solar meet the requirements listed on page 43.

### Colors

- ☐ Colors are subdued and earthy in nature, blending with the natural environment (p. 43).
- ☐ Accents in black, white or primary colors will be considered on a case-by-case basis (p. 43).



## Landscape Design

### Maintaining the flow of the land

- ☐ Landscape elements align with neighboring property elements (p. 47).
- ☐ Trees and shrubs grouped in organic clusters, not lined up geometrically or parallel to the property line (p. 47).

### Preserving views for neighbors

- ☐ Tall trees and shrubs are not in the viewsheds of adjacent properties; no taller than 22' at maturity (p. 48).
- ☐ No trees outside the viewsheds are taller than 40' at maturity (p. 48).

### Creating a residential street front

- ☐ Landscape creates a residential street front: softening the transition from land to building (p. 48).

### Planting beds, turf

- ☐ There is cultivated turf between the street and the house, supplemented by bands of planting beds. 20-50% of the area immediately surrounding the house should be shrubs and planting areas, the remainder turf (p. 49).
- ☐ Plantings are visually layered and clustered, related to the elements of the house like the front door or groupings under windows (p. 49).
- ☐ Planting beds contain enough shrubs, flowers, ornamental grasses or ornamental rocks not to feel like an unrelieved sea of gravel or wood chips (p. 49).
- ☐ Ground cover is recommended to be rock but can be in list of approved materials on page 49.

### Allowable species

- ☐ Plant material is native or historically successful in the Northwestern Montana landscape; no invasive species (p. 50).

### Maintaining public amenities

- ☐ Fences, landscaping, and drainage swales along neighborhood streets provided by the developer are maintained (p 50).
- ☐ Culverts are provided under any driveway or landscape element to protect the existing drainage swale (p. 50).

### Specific neighborhood requirements (The Ridge)

- ☐ Minimum of eight primary shade trees (1 ½ inch minimum caliper) and eight shrubs (p. 51).

### Specific neighborhood requirements (The Meadows)

- ☐ Landscape has a Residential Zone 30' out from the home in each direction, with a minimum of eight primary shade trees (1 ½ inch minimum caliper), and eight shrubs (p. 51).
- ☐ Landscape has a Setback Zone between the exterior property boundaries and the building setback lines; at the street front, this zone extends to the street (p. 51).

☐ In the Setback Zone, any ground cover not in planting beds, including grasses, fescues, wildflower pasture mixes, etc., can be mowed to a maximum height of 12 inches; trees are limited to a height of 20' at maturity (if the Setback Zone overlaps the Residential Zone, this tree height limitation applies to the Residential Zone as well) (p. 51).

☐ Any ground not in the Residential or Setback Zone is a Transition Zone, in which ground cover not in planting beds, including grasses, fescues, wildflower pasture mixes, etc., can be mowed to a maximum height of 12 inches (p. 51).

### **Obstruction of views**

☐ On corner lot, within an area formed by the centerlines of the intersecting streets and a line joining points on such center lines at a distance of 75' from their intersection, there is no obstruction to vision between the height of 3'-6" and a height of 10'-0" above the average grade of each street at the centerline thereof (p. 53).

### **Walls, fences, patios, retaining walls**

☐ Retaining walls use natural stones (p. 54).

☐ No fences or prominent edging at the property line (p. 47)

☐ patio walls/ fences are only within the front, side and rear yards, and patio areas appear to be an extension of the home (p. 54).

☐ All patio structures are within the building envelope, and consistent with the design of the main building (p. 55).

☐ Kennels are screened from view from streets, maximum size 10' X 10' (p. 54).

☐ No barbed wire or other deterrent security devices (p. 54).

☐ non-climbable wrought iron fencing only around spa areas (p. 54).

☐ All private wall areas are landscaped to minimize view of wall (p. 54).

### **Screening equipment, spas, hot tubs**

☐ Walls and/or shrub screens are around trash areas, mechanical equipment, water and electric meters, spas, and hot tubs (p. 54, 55, 56).

### **Lighting**

☐ Lighting adheres to lighting standards listed on page 56.

## MBPDRC Working Drawings Submission Completeness Checklist

Owner:

Neighborhood:

Lot #:

Date Submitted:

Date Reviewed:

✓ **Complies**; X **does not comply**; NA **not applicable**

### 1. Note on Conformance with Approved Schematic Design

☐ A note should be included on the first page of the drawing set indicating any changes made from the approved schematic design.

The working drawings require additional details not required for the schematic design, and these do not have to be included in this note unless they changed the design relative to the approved schematic design.

### 2. Site Plan.

☐ Min. Scale is 1" = 10'-0"

☐ Includes all the information required for the Schematic Design submission.

☐ Indicates flow lines and drainage patterns both existing and proposed.

☐ Shows cut & fill requirements.

☐ A point is indicated on the street adjacent to the site, that will be used as a permanent reference for the height limit. It could be a property line pin, or a water line cover plate. Shows dimensions to the property lines and is labeled "height limit reference point."

### 3. Floor Plans.

☐ Min. Scale is 1/4" = 1'-0"

☐ Includes all the information required for the Schematic Design submission.

### 4. Foundation Plans.

☐ Min. Scale is 1/4" = 1'-0"

### 5. Elevations.

☐ Min. Scale is 1/4" = 1'-0"

☐ Includes all the information required for the Schematic Design drawing submissions.

☐ Materials and colors are labeled for every element in the elevation, and cross referenced to the materials board.

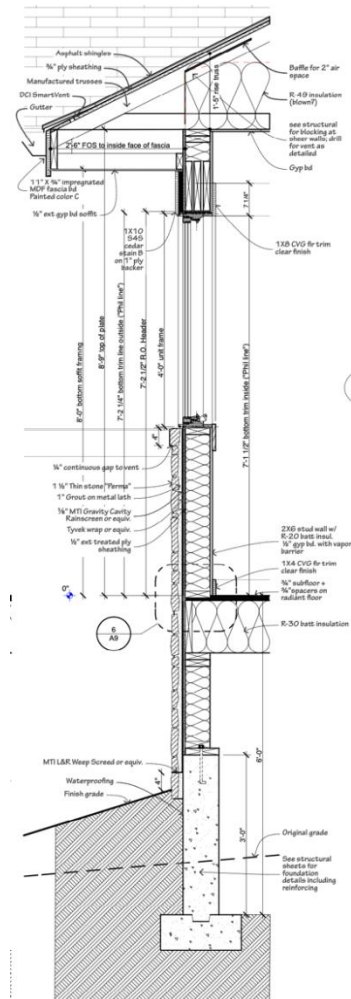
☐ Shows all elements called out in "7. Major Architectural Elements" listed below.

## 6. Cross Sections.

- ☐ Min. Scale is 1/8" = 1'-0"
  - ☐ Shows one longitudinal section and one cross section through the project, consistent with the plans and elevations.
  - ☐ Shows the original and finish grades through each section.
- trim, indicating thicknesses.

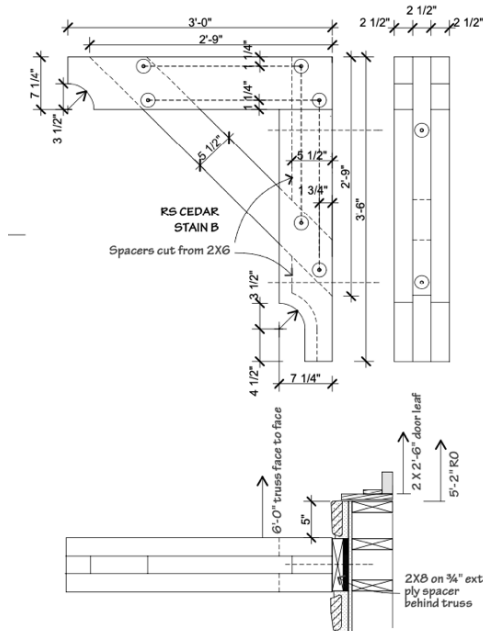
## 7. Wall sections.

- ☐ Wall sections are drawn through each major wall type (i.e., at gable ends, wall under roof sloping down to soffit, where wood sits on stone, etc.).
- ☐ Wall sections show all junctions between materials, and the details of trim, soffits, facias, caps on stone, etc.



## 8. Major Architectural elements details

- ☐ Min. Scale is  $\frac{3}{4}" = 1'-0"$
- ☐ Shows detail drawings of all major architectural elements like brackets, exposed heavy beam trusses, decorative columns, chimney caps.
- ☐ Shows plan and elevation of all door and window trim, indicating thickness.



## 9. Roof Plan:

- ☐ Min. Scale is  $\frac{1}{4}" = 1'-0"$
- ☐ Shows plan of all proposed roofs with slope pitches and overhangs relative to the walls below.
- ☐ Indicates all materials.
- ☐ Indicates any unusual conditions or construction requirements.

## 10. Landscape Plan:

- ☐ Min. Scale is  $1" = 10'-0"$
- ☐ Same requirements as in the Schematic Design submission.
- ☐ Shows all walls, trellises, arbors and gazebos, their location, material, and color.
- ☐ Shows drainage, slope stabilization, and mechanical equipment.

## 11. Exterior Colors & Finishes:

- ☐ All colors and materials are provided on a sample board. Also, all materials and colors are labeled on all elements of the elevation drawings, and cross referenced to the sample board. All colors and materials are identified with a manufacturer's name and list number/name.

- ☐ No color swatches are printed from the computer.
- ☐ A photo of the roofing material and stone and/or brick is included on the sample board, and physical samples are provided.

## **12. Written specifications for all work**

- ☐ Specifications are included, and in accordance with best practices for building construction documents.



## MBPDRC Working Drawings Review Checklist

Owner:

Neighborhood:

Lot #:

Date Submitted:

Date Reviewed:

✓ **Complies; X does not comply; NA not applicable**

*Note: The MBPDRC reviews working drawings only for their impact on visual appearance and compliance with the Design Review Manual. It does not review anything related to the engineering, constructability, compliance with building codes, safety, etc.*

### 1. Conformance with Approved Schematic Design

- ☐ The drawings including all new details conform with the approved schematic design in all regards.
- ☐ If anything changed in relation to the schematic design information, the changes are called out in a note on the first page of the drawing set.
- ☐ Any changes in relation to the approved schematic design materials are consistent with the requirements of the Design Manual.

### 2. Conformance of Construction Details with the Chosen Architectural Style.

- ☐ All new construction details in the working drawings that were not shown in the approved Schematic Design conform with the chosen architectural style.

## MBPDRC Notice of Completion

### Ownership Data

Property Owner's Name: \_\_\_\_\_

Current Mailing Address \_\_\_\_\_

Telephone Numbers: Business / Day ( ) \_\_\_\_\_

Residence / Evening ( ) \_\_\_\_\_

Address of construction project \_\_\_\_\_

I confirm that my project at the above address is now complete, and that it is in conformance with the plans and specifications approved by the MBPDRC. Any changes from these approved plans that were undertaken during construction were also approved by the MBPDRC.

I have received a Certificate of Occupancy from the city of Polson and have included a copy of it with this form.

I now request a final review of the project by the MBPDRC, to confirm that the project is completed as approved.

On completing the inspection, the MBPDRC will recommend to the MBPHOA Board of Directors whether all or some of my refundable construction deposit will be released. If the project is not in compliance, I understand I will have an opportunity to rectify the problems before the MBPDRC considers the amount of the refundable deposit to be released.

The amount to be released will be determined by the extent to which the project was completed in compliance with the approved plans and specifications.

Finally, I understand that once this final decision is made about the completion of the project, I can release any insurance policies that have been held against the Property.

Signature: \_\_\_\_\_

# MBPHOA Board Appeal Form

**Ownership Data**

Property Owner's Name: \_\_\_\_\_

Current Mailing Address \_\_\_\_\_

Email Address: \_\_\_\_\_

Telephone Numbers:    Business / Day            (        ) \_\_\_\_\_

                                 Residence / Evening (        ) \_\_\_\_\_

Address of construction project \_\_\_\_\_

I/We request that the Mission Bay Preserve Board of Directors review our appeal of Mission Bay Preserve Design Review Committee's decision on my/our design submission.

Please describe the section(s) of the DRC decision that you want to have reviewed (attach additional pages if necessary):

\_\_\_\_\_

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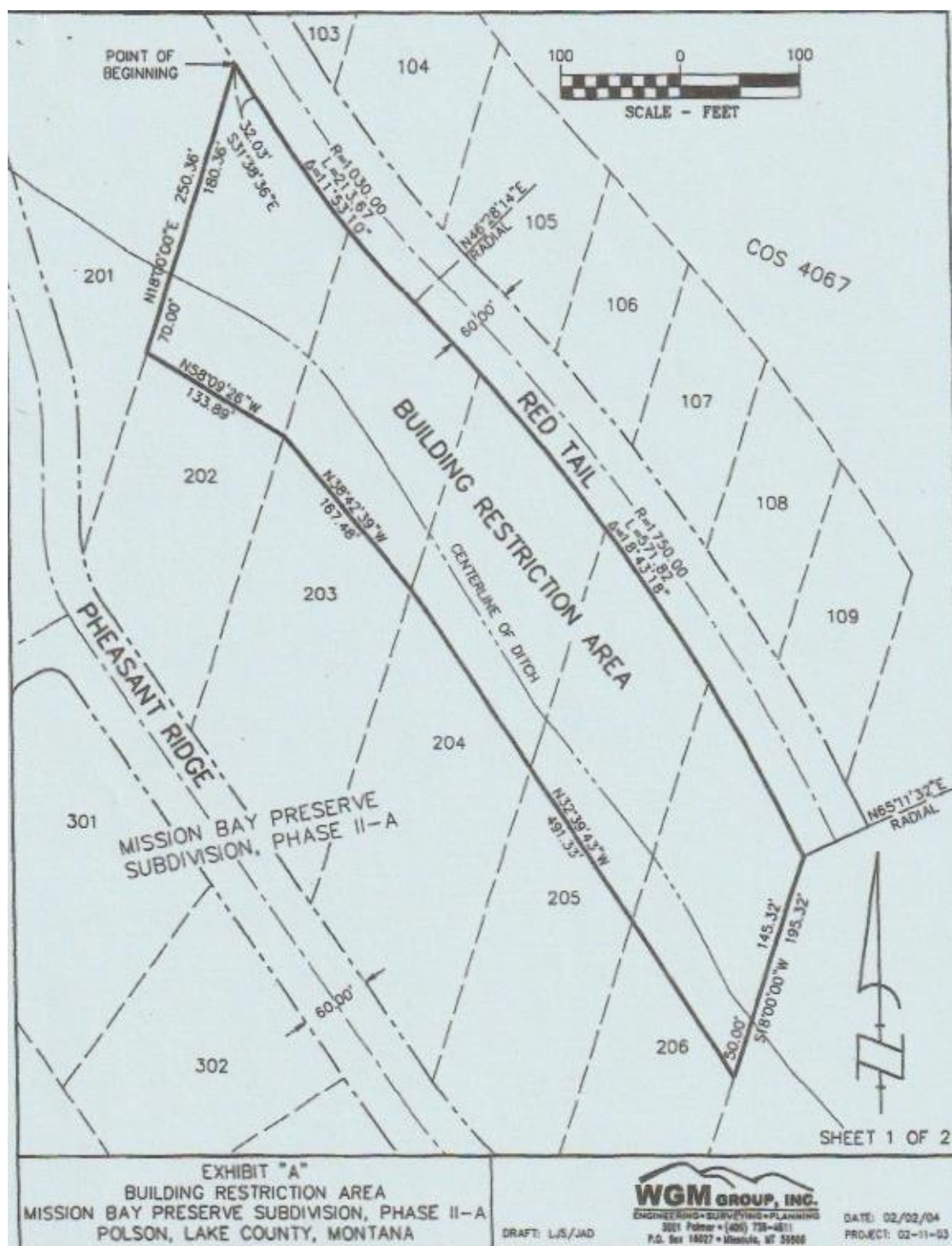
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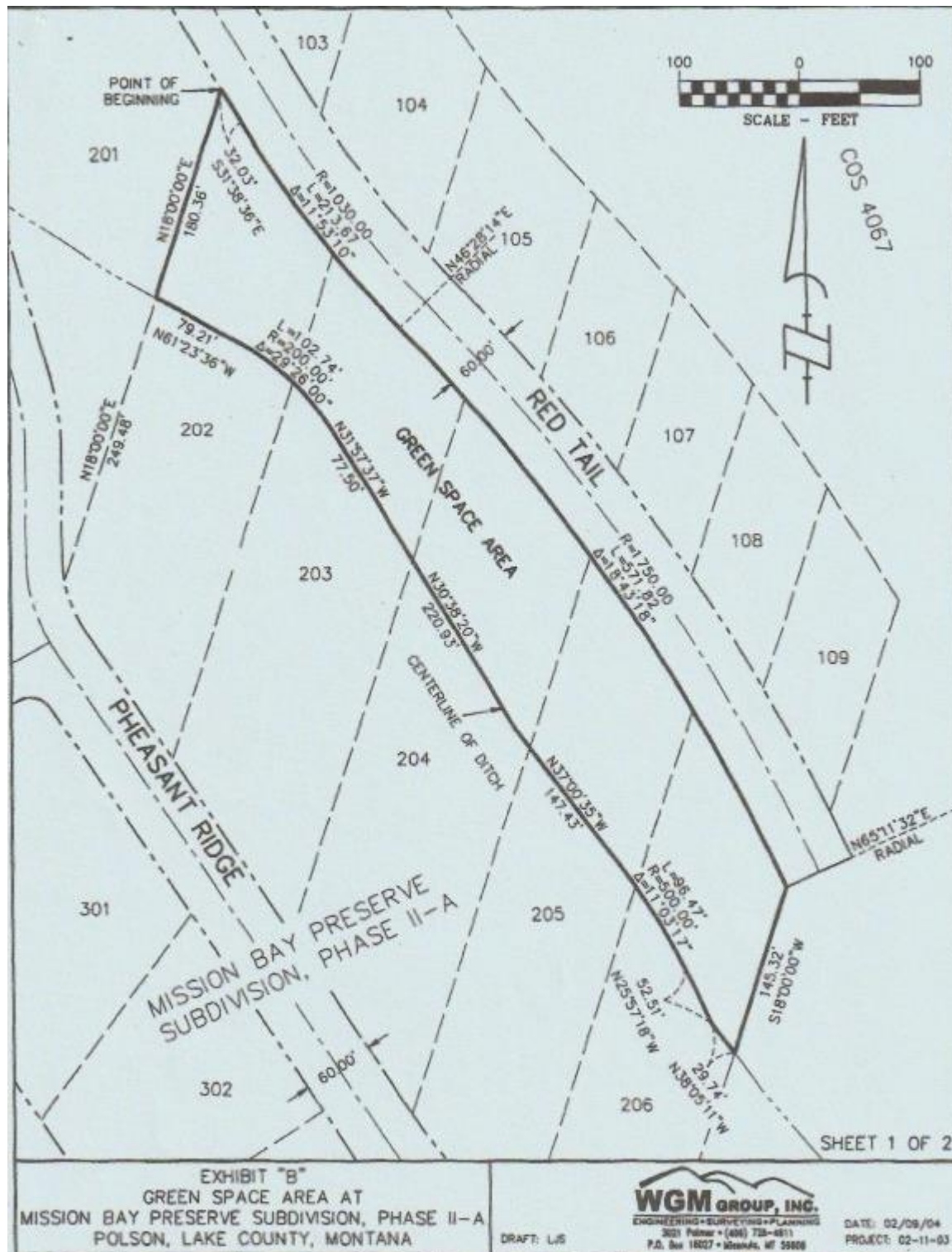
Please include the design submission and the non-refundable \$500 fee with this form.

Signature: \_\_\_\_\_

## Building Setbacks and Green Space restrictions on lots 202-212

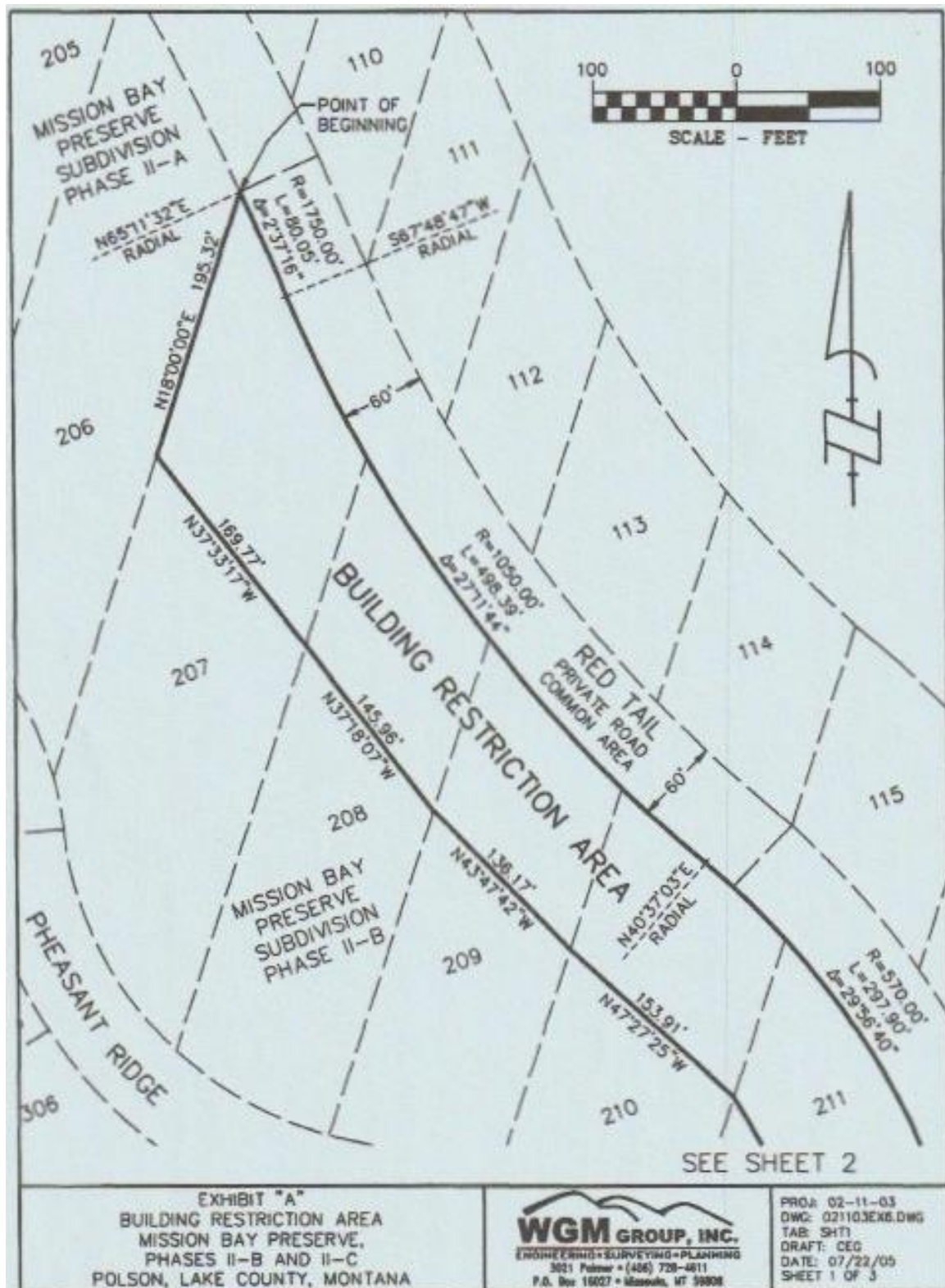


**Lots 202-206 Building Restriction Area**



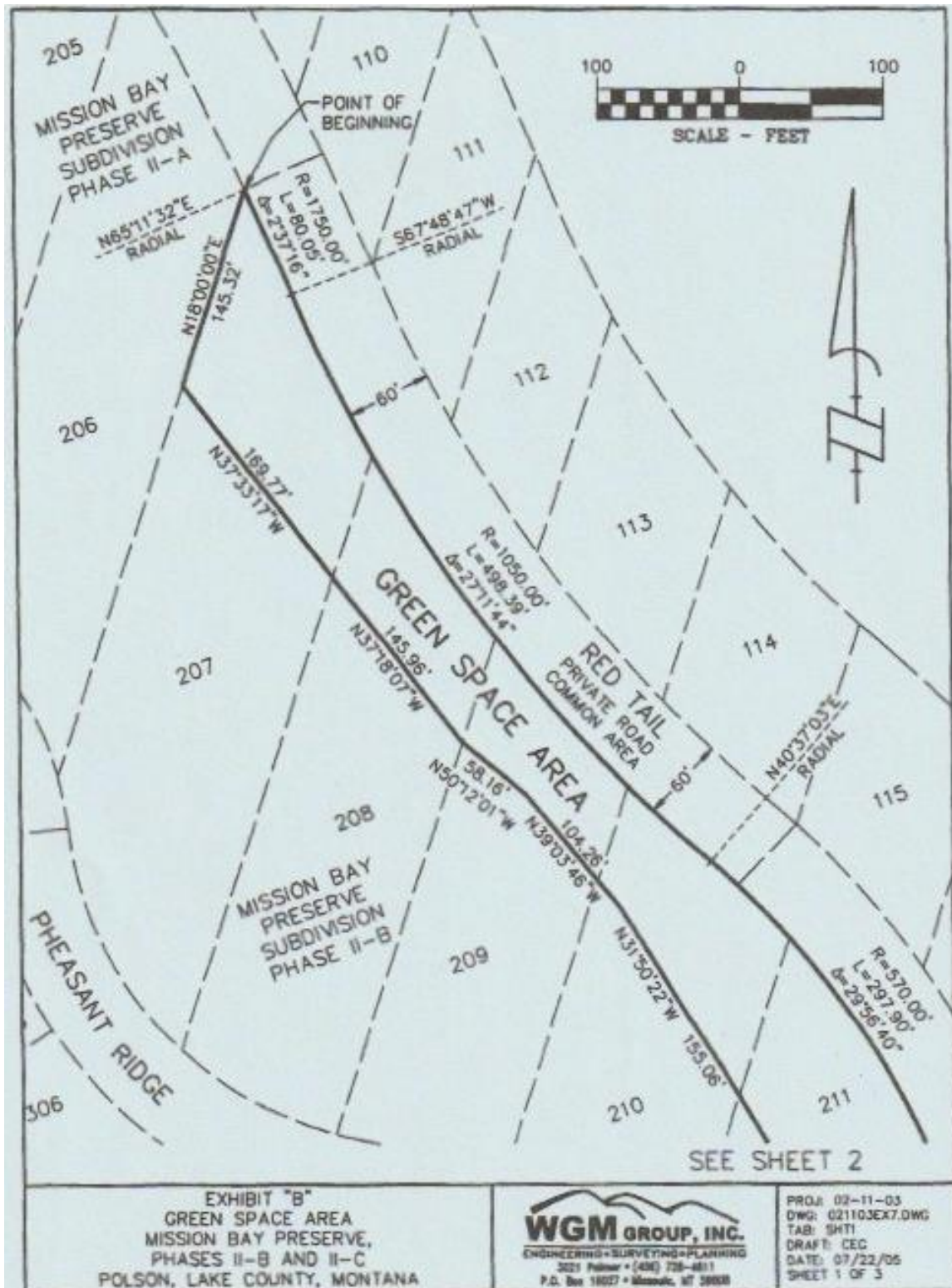
Lots 202-206 Green Space Area



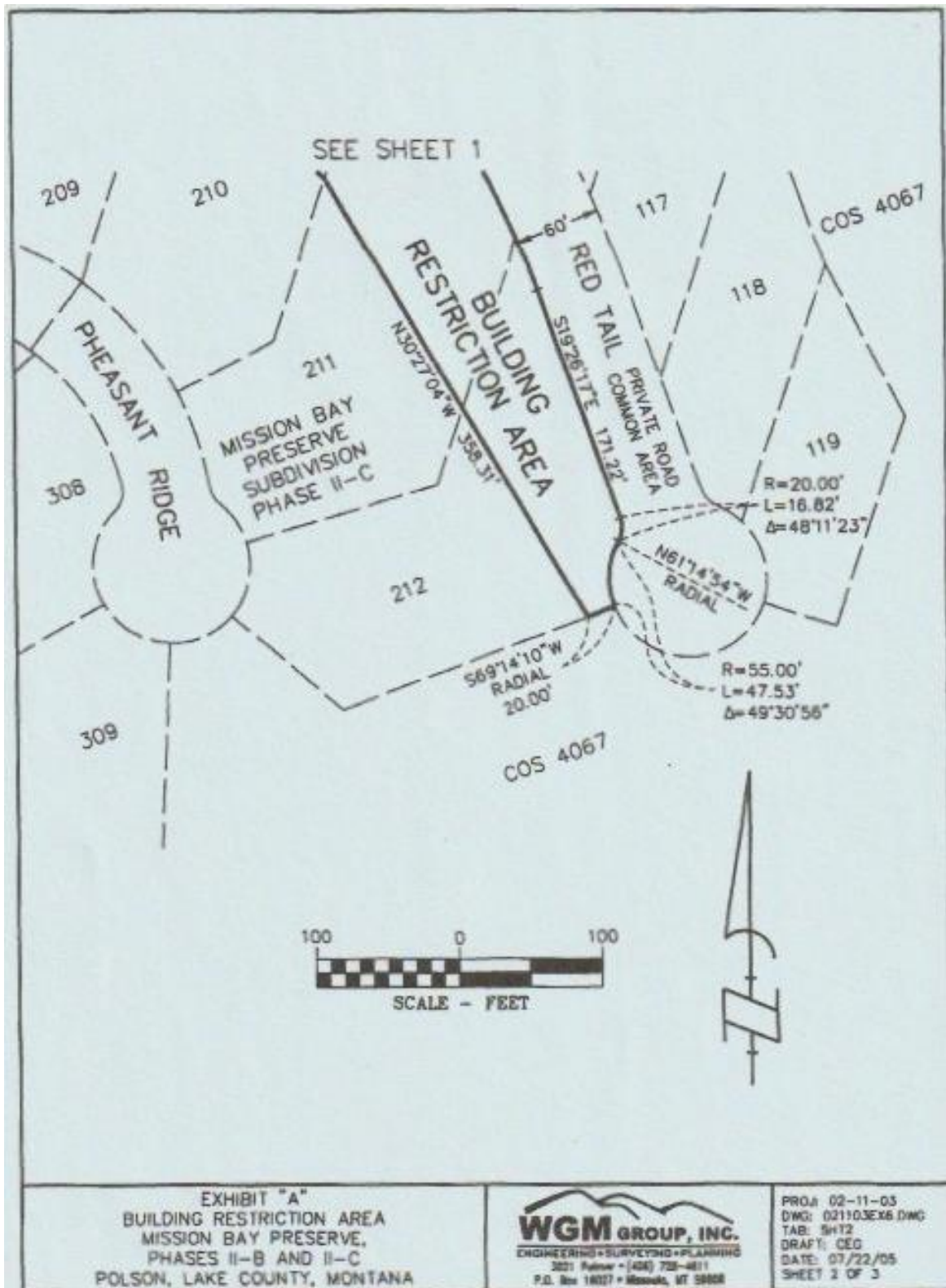


Lots 207-210 Building Restriction Area

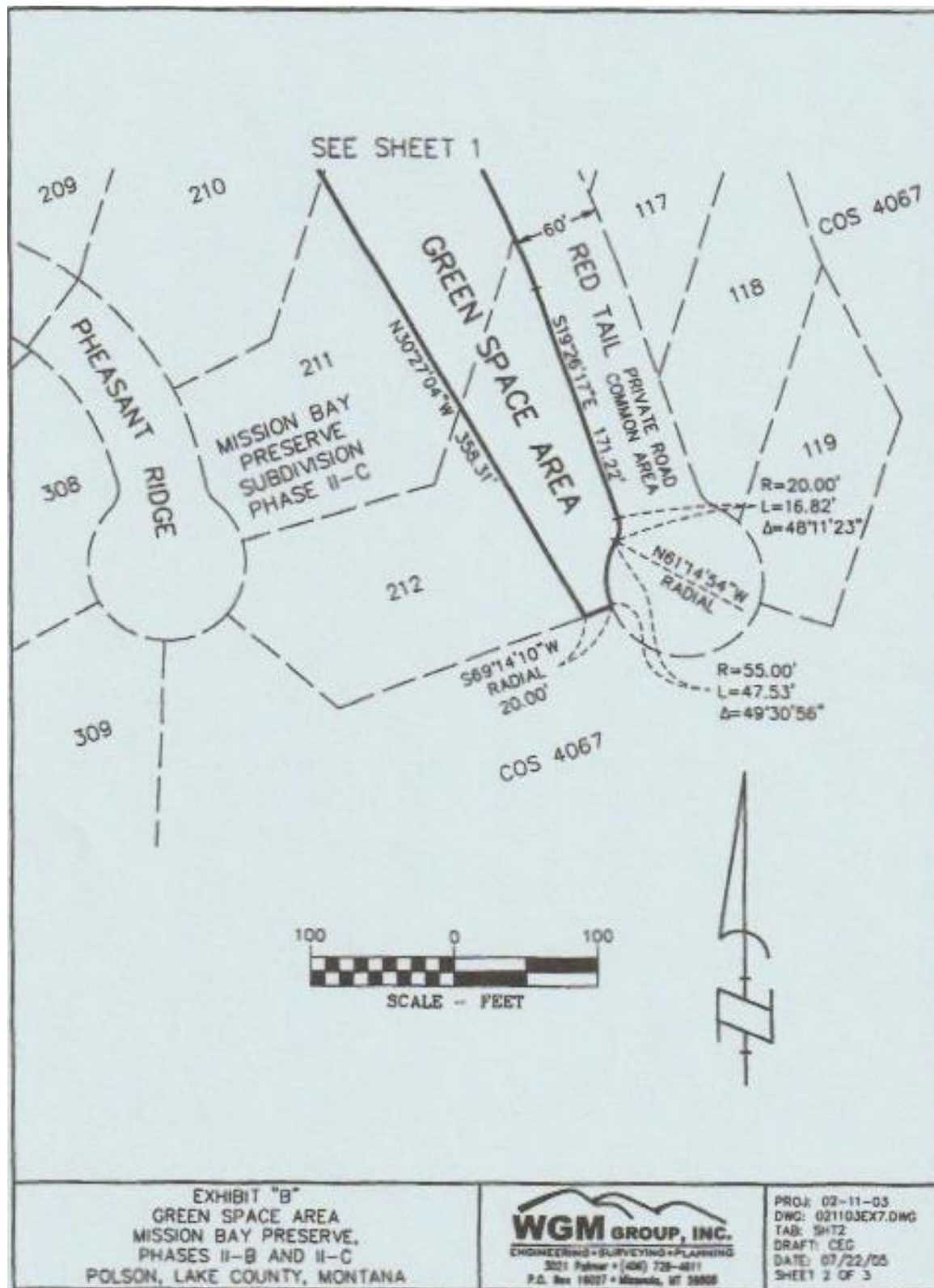




Lots 207-210 Green Space Area



Lots 211-212 Building Restriction Area



Lots 211-212 Green Space Area